

THE CITY OF NORFOLK



To the Honorable Council
City of Norfolk, Virginia

February 8, 2022

From: George M. Homewood
Director of Planning

Subject: Conditional Use Permit -
The Up Center, LLC

Reviewed:

Ward/Superward: 4/7

Patrick Roberts, Deputy City
Manager

Approved:

Dr. Larry H. Filer II, City Manager

Item Number: C-6

I. Planning Commission Recommendation:

By a vote of **7 to 0**, the Planning Commission recommends **Approval**.

II. Request: To allow Up Center, LLC to operate a Banquet Hall.

III. Applicant: Up Center, LLC

IV. Description:

- In 2009 the site was granted a Special Exception (now termed Conditional Use Permit-CUP) to operate a Bingo Hall (Commercial Recreation Center).
- In 2011 the site was granted a Special Exception (CUP) for an Entertainment Establishment (Banquet Hall).
 - A CUP for a Bingo Hall does not expire upon a change of owner/management so that CUP is still valid; in 2020 the current applicant began operating the Bingo Hall.
 - However, a CUP for a banquet hall does expire with a change of ownership so, since similar to the prior operator, the applicant now proposes to operate a Banquet Hall, a new CUP for this use is required.
- Staff is recommending that the 2 parking spaces directly in front of this establishment converted to a planting area with two trees. The trees should be the same as those in the other landscape islands on the site.

	Prior Banquet Hall Operation	Proposed
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Hours of Operation	8:00 a.m. until 2:00 a.m. Monday through Thursday 7:00 a.m. until 2:00 a.m. Friday through Sunday	9:00 a.m. until 12:00 midnight, Seven days a week
Hours for Sale of Alcoholic Beverages	11:00 a.m. until 2:00 a.m. seven days a week	12:00 p.m. until 12:00 midnight, Seven days a week
Occupancy	300 total capacity	500 seats indoors 120 standing room 40 Employees 660 total capacity
Entertainment	Disc Jockey Live Bands	Live bands Disc Jockey Comedian

V. Historic Resources Impacts:

The site is not located in any local, state, or federal historic district.

VI. Public Schools Impacts:

N/A

Staff contact: Susan Pollock at (757) 664-4765, susan.pollock@norfolk.gov

Attachments:

- Proponents and Opponents
- Staff Report to CPC dated January 27, 2022, with attachments
- Ordinance

Proponents and Opponents**Proponent**

Ny Nguyen
889 Lamplight Lane
Virginia Beach, VA 23452

Opponent

None

Supporting Material:

- Ordinance Exhibit A (PDF)
- Ordinance Exhibit B (PDF)
- Conditional Use Permit Review Standards (PDF)
- Overview Map(PDF)
- Location Map (PDF)
- Zoning Map (PDF)
- ABC Map - 1 mile buffer (PDF)
- Application (PDF)
- Property Owners_300ft (PDF)
- Email to Civic Leagues(PDF)
- Letter of support from Civic League (PDF)



City Planning Commission Public Hearing: January 27, 2022

Executive Secretary: George M. Homewood, FAICP, CFM

A handwritten signature in black ink, appearing to read "G. Homewood".

Staff Planner: Susan Pollock

A handwritten signature in black ink, appearing to read "Susan Pollock".

Staff Report		Item No. 6	
Staff Report		Item No.	
Address		5957 E. Virginia Beach Boulevard	
Applicant		UP Center, LLC	
Request		Conditional Use Permits	Banquet Hall Live Entertainment (accessory use) Alcoholic Beverages, On Premise (accessory use)
Zoning		C-R (Commercial-Regional)	
Neighborhood		Lake Taylor	
Surrounding Area		North	C-R: Ollie's Bargain Outlet, nTelos Wireless C-C (Commercial – Community): Upscale Men's Fashion
		East	C-C: H&R Block
		South	C-R: Costco
		West	C-R: New York Bus
Staff Recommendation		Approval subject to conditions	



A. Executive Summary

- The site is located within Military Crossing Shopping Center on the south side of E. Virginia Beach Boulevard just east of JANA Shopping Center.
- The applicant is currently operating a Bingo Hall at the location and would like to also use the space as a Banquet Hall.
- Given that the site is located in the C-R district which encourages uses of this type and the site's history with the same use combination, staff recommends **approval** subject to the conditions contained in the staff report.

B. Plan Consistency

The proposed Conditional Use Permit is consistent with *plaNorfolk2030* which designates this site as Commercial.

C. Zoning Analysis

- In 2009 the site was granted a Special Exception (now termed Conditional Use Permit-CUP) to operate a Bingo Hall (Commercial Recreation Center).
- In 2011 the site was granted a Special Exception (CUP) for an Entertainment Establishment (Banquet Hall).

- A CUP for a Bingo Hall does not expire upon a change of owner/management so that CUP is still valid; in 2020 the current applicant began operating the Bingo Hall.
- However, a CUP for a banquet hall does expire with a change of ownership so, since similar to the prior operator, the applicant now proposes to operate a Banquet Hall, a new CUP for this use is required.
- Staff is recommending that the 2 parking spaces directly in front of this establishment converted to a planting area with two trees. The trees should be the same as those in the other landscape islands on the site.

	Prior Banquet Hall Operation	Proposed
Hours of Operation	8:00 a.m. until 2:00 a.m. Monday through Thursday 7:00 a.m. until 2:00 a.m. Friday through Sunday	9:00 a.m. until 12:00 midnight, Seven days a week
Hours for Sale of Alcoholic Beverages	11:00 a.m. until 2:00 a.m. seven days a week	12:00 p.m. until 12:00 midnight, Seven days a week
Occupancy	300 total capacity	500 seats indoors 120 standing room 40 Employees 660 total capacity
Entertainment	Disc Jockey Live Bands	Live bands Disc Jockey Comedian

i. Performance Standards

Banquet Hall – A room or building for the purpose of hosting private pre-arranged social occasions that are not open to impromptu attendance by the general public, such as weddings, banquets, parties, or other gatherings. Such establishments may serve unpackaged food in a ready-to-consume state to customers who will consume these foods while seated at tables or counters primarily located within the room or building.

Live Entertainment (accessory use) – An accessory use allowing live performances, including but not limited to, music performances involving amplified music or more than one instrument, a disc jockey, any form of dancing, karaoke, and comedians.

Sale of alcoholic beverages, on-premises (accessory use) – An accessory use permitting beer, wine, and/or mixed beverages to be sold for on-premises consumption with an appropriate license from the ABC Board.

- No alcoholic beverages shall be sold for on-premises consumption without the proper approvals from the ABC Board. The sale of alcoholic beverages shall be limited to the times approved by the ABC Board.

- Where applicable, the facility shall comply with the applicable performance standards as set forth in Section 4.2.3.F(1) Standards Applicable to All Eating and Drinking Uses.

ii. Development Standards

a) Parking:

The establishment is located in the Miliary Crossing Shopping Center which has an abundance of parking.

b) Flood Zone

The property is in the X flood zone which is a low-risk flood zone.

D. Mobility Analysis

- Hampton Roads Transit bus routes 20 (Virginia Beach) and 25 (Newtown) operate near the site.
- E. Virginia Beach Boulevard adjacent to the site is not an identified priority corridor in the *City of Norfolk Bicycle and Pedestrian Strategic Plan*.

E. Historic Resources Impacts

The site is not located in any local, state, or federal historic district.

F. Public Schools Impact

The proposed property is not within 1,000 feet of a Norfolk Public School.

G. Payment of Taxes

The applicant is current on all taxes.

H. Civic League

- Applicant met with the Lake Taylor Civic League on November 18 and visited with them at the site.
- A letter of support was received from the Lake Taylor Civic League on November 22.
- The applicant met with the Poplar Hall Civic League on January 26, 2021, and they voted to support the request.
- The applicant held a Community Meeting on July 7, 2021; no opposition was noted.

I. Communication Outreach/Notification

- Letters were mailed to all property owners within 300 feet of the property on January 12.
- Legal notification was placed in *The Virginian-Pilot* on January 13 and 20.

J. Recommendations

Staff recommends **approval** subject to the conditions listed below.

- I. Banquet Hall (principal use)

II. Live Entertainment (accessory use)

III. Sale of Alcoholic Beverages, On Premise (accessory use)

- (a) The operation of the principal use of Banquet Hall must be conducted in accordance with the applicable performance standards that are set forth in section 4.2 of the Norfolk Zoning Ordinance.
- (b) The operation of the accessory use of Live Entertainment must be conducted in accordance with the applicable performance standards that are set forth in section 4.3 of the Norfolk Zoning Ordinance.
- (c) The operation of the accessory use of On-Premises Sale of Alcohol must be conducted in accordance with the applicable performance standards that are set forth in section 4.3 of the Norfolk Zoning Ordinance.
- (d) The revocation, termination, or expiration of any one of the permits granted herein shall constitute grounds for revocation of every other permit granted herein.
- (e) The hours of operation for the establishment shall be limited to 9:00 a.m. until 12:00 midnight, seven days a week.
- (f) The hours of operation for the on-premises sale of alcoholic beverages, and live entertainment shall be limited to 12:00 p.m. until 12:00 midnight, seven days a week.
- (a) The seating for the Banquet Hall shall be 500 seats indoors and the total occupancy, including employees, shall not exceed 660 people.
- (b) The business authorized by this ordinance shall be conducted in accordance with the Description of Operations set forth in the appropriate "Exhibit A," attached hereto for the Banquet Hall, Restaurant and Nightclub. The representations made in "Exhibit A" shall be binding upon all owners, operators and managers who operate and/or manage the premises covered by this ordinance. Should any owner, operator or manager desire to operate the business in a manner different than as represented in "Exhibit A," a new conditional use permit must be obtained. Where any limitation or representation contained in "Exhibit A" is inconsistent with any condition of this ordinance, the conditions of this ordinance shall govern.
- (c) The conditional use permit or permits granted herein that relate to retail alcoholic beverage control licensees shall terminate in the event of a change in ownership of the establishment and may be revoked in the event of a change in the operation or management of the establishment as described in the Description of Operations set forth in "Exhibit A,"

attached hereto, provided that no termination in the event of a change in ownership of the establishment shall be effective until 120 days after the change or until a new conditional use permit is granted showing the new owner, whichever is earlier. Notwithstanding the above, no violation of this condition shall be deemed to have occurred if the only change in management is a result of one or more of the members of the management team identified in the Description of Operations ceasing to work at the establishment.

- (d) Entertainment shall be limited to live bands, disc jockey and a comedian. No other form of entertainment is permitted.
- (e) There dance floor shall be limited to 400 square feet and shall be located as indicated on "Exhibit B."
- (f) The layout of the establishment shall adhere to the specifications of the floor plans attached hereto and marked as "Exhibit B." Any tables, chairs, booths, stools or other movable furniture may be relocated provided that it conforms with all building code requirements.
- (g) No door to the establishment which opens onto or faces a public right-of-way shall be propped open during any time that entertainment is being provided.
- (h) The two parking spaces directly in front of this establishment shall be converted to a planting area with two trees. The trees should be the same as those in the other landscape islands on the site.
- (i) If a solid waste receptacle is situated on the site, it shall be positioned along the rear of the building in a location that does not interfere with access to any parking space, impede use of the vehicular drive aisle, or encroach into any required buffer yard or setback, and shall conform with all of the requirements of section 5.4.4.A of the Norfolk Zoning Ordinance, Refuse Containers.
- (j) During all hours of operation, the establishment operator shall be responsible for maintaining those portions of public rights-of-way improved by sidewalk and portions of any parking lot adjacent to the premises regulated by the conditional use permit so as to keep such areas free of litter, refuse, and both solid and liquid waste.
- (k) The establishment shall maintain a current, active business license at all times while in operation.
- (l) The establishment shall remain current on all food and beverage taxes, business personal property taxes, and other local taxes which may

become due while it is in operation.

- (m) The establishment shall maintain a designated driver program which shall provide, at minimum, that designated drivers may be served non-alcoholic beverages at no charge. The establishment shall describe the program in writing and its availability shall be made known to patrons by printing it either on the menu or a card placed on each table and the bar.
- (n) The violation of any condition, requirement, or limitation imposed by the Virginia ABC Commission shall be deemed a violation of this ordinance. Any conditional use permit granted by the ordinance may be revoked for any violation of a general or specific condition, including a condition incorporated by reference or arising from conditions, requirements, or limitations imposed on any aspect of the operation of the establishment by the ABC Commission or by Virginia law.
- (o) A copy of this conditional use permit ordinance and Exhibits shall be available on the premises at all times for inspection, and a notice indicating that this conditional use permit ordinance and all amendments are kept on the premises and are available for review by any member of the general public shall be posted in a visible location. The notice shall also contain information on where and how to report violations of conditions and shall include the address of the zoning administrator.
- (p) A binder or folder containing documentation relating to the operation of the establishment shall be kept on the premises at all times and shall be produced upon request made by any person. For purposes of this section, the documentation relating to the operation of the establishment shall include copies of the following:
 - (1) This ordinance;
 - (2) Any ABC license(s);
 - (3) Any occupancy permit(s);
 - (4) Certifications of all persons who work on the premises as a security guard;
 - (5) All fire code certifications, including alarm and sprinkler inspection records;
 - (6) Any health department permit(s);
 - (7) The emergency action plan required under the Fire Prevention Code;

- (8) The names, addresses, and phone numbers of all persons who manage or supervise the establishment at any time;
 - (9) The establishment's designated driver program; and
 - (10) The establishment's Security Plan.
- (q) The business shall provide in-house security or retain the services of a licensed security firm to provide security services at a rate of one security guard per 50 guest occupants on the property whenever occupancy shall exceed 99 people or when otherwise required by at least 36 hours prior written notice of the Fire Marshal, Chief of Police, or any designee of either. After 8:00 p.m. each Friday and Saturday as well as during special events, a security supervisor certified in accordance with the requirements of the Virginia Department of Criminal Justice Services shall be present on the property.
 - (r) The written security plan submitted to the City as part of the application for this permit and on file with the Department of Planning shall remain in full force and effect at all times while the establishment is in operation.

Supporting Material:

- Ordinance Exhibit A (PDF)
- Ordinance Exhibit B (PDF)
- Conditional Use Permit Review Standards (PDF)
- Overview Map(PDF)
- Location Map (PDF)
- Zoning Map (PDF)
- ABC Map - 1 mile buffer (PDF)
- Application (PDF)
- Property Owners_300ft (PDF)
- Email to Civic Leagues(PDF)
- Letter of support from Civic League (PDF)

Form and Correctness Approved: *BAP*

Contents Approved:

By: _____
Office of the City AttorneyBy: _____
DEPT. Planning

NORFOLK, VIRGINIA

Ordinance No.

AN ORDINANCE GRANTING CONDITIONAL USE PERMITS TO AUTHORIZE THE OPERATION OF A BANQUET HALL WITH LIVE ENTERTAINMENT OPERATED BY "UP CENTER" ON PROPERTY LOCATED AT 5957 EAST VIRGINIA BEACH BOULEVARD, SUITE 15.

- - -

BE IT ORDAINED by the Council of the City of Norfolk:

Section 1:- That conditional use permits are hereby granted to Up Center, LLC authorizing the operation of the following principal uses and accessory uses:

- (a) Banquet Hall (principal use)
- (b) Live Entertainment (accessory use)
- (c) Sale of Alcoholic Beverages, On-Premises (accessory use)

Section 2:- That the full extent of the property or properties where the permit or permits described above are hereby made effective, upon the date set forth below, is described as follows:

Property fronts 885 feet, more or less, along the southern line of East Virginia Beach Boulevard beginning 115 feet, more or less, from the eastern line of Glenrock Road and extending eastwardly, located within the Military Crossing shopping center; premises numbered 5957 East Virginia Beach Boulevard, suite 15.

Section 3:- That the conditional use permit or permits granted herein shall be subject to all of the general conditions set forth in section 2.4.8.D of the Norfolk Zoning Ordinance and all of the following additional conditions, requirements, and limitations:

- (a) The operation of the principal use of Banquet Hall must be conducted in accordance with the applicable performance standards that are set forth in section 4.2 of the Norfolk Zoning Ordinance.
- (b) The operation of the accessory uses of Live Entertainment and On-Premises Sale of Alcoholic Beverages must be conducted in accordance with the applicable performance standards that are set forth in section 4.3 of the Norfolk Zoning Ordinance.
- (c) The revocation, termination, or expiration of any one of the permits granted herein shall constitute grounds for revocation of every other permit granted herein.
- (d) The hours of operation for the establishment shall be limited to 9:00 a.m. until 12:00 midnight, seven days a week.
- (e) The hours of operation for the on-premises sale of alcoholic beverages, and live entertainment shall be limited to 12:00 noon until 12:00 midnight, seven days a week.
- (f) The seating for the Banquet Hall shall be limited to not more than 500 seats indoors, no seats outdoors, and the total occupancy, including employees, shall not exceed 660 people.
- (g) The two parking spaces located immediately in front of the entrance to the establishment shall be converted to a planting area and two trees, of the same type as those in the other landscape islands in the shopping center, shall be planted in the area.
- (h) The business authorized by this ordinance shall be conducted in accordance with the Description of Operations set forth in "Exhibit A," attached hereto. The representations made in "Exhibit A" shall be binding upon all owners, operators and managers who operate and/or manage the premises covered by this ordinance. Should any owner, operator or manager desire to operate the business in a manner different than as represented in "Exhibit A," a new conditional use

permit must be obtained. Where any limitation or representation contained in "Exhibit A" is inconsistent with any condition of this ordinance, the conditions of this ordinance shall govern.

- (i) The conditional use permit or permits granted herein that relate to retail alcoholic beverage control licensees shall terminate in the event of a change in ownership of the establishment and may be revoked in the event of a change in the operation or management of the establishment as described in the Description of Operations set forth in "Exhibit A," attached hereto, provided that no termination in the event of a change in ownership of the establishment shall be effective until 120 days after the change or until a new conditional use permit is granted showing the new owner, whichever is earlier. Notwithstanding the above, no violation of this condition shall be deemed to have occurred if the only change in management is a result of one or more of the members of the management team identified in the Description of Operations ceasing to work at the establishment.
- (j) Entertainment shall be limited to live bands, disc jockey and a comedian. No other form of entertainment is permitted.
- (k) The layout of the establishment shall adhere to the specifications of the floor plans attached hereto and marked as "Exhibit B." Any tables, chairs, booths, stools or other movable furniture may be relocated provided that it conforms with all building code requirements.
- (l) The dance floor shall not exceed 400 square feet and shall be located as indicated on the basic floor plan attached hereto and marked as "Exhibit B." The dance floor shall be constructed of a different material than the primary floor material.
- (m) No door to the establishment which opens onto or faces a public right-of-way shall be propped open during any time that entertainment is being provided.
- (n) If a solid waste receptacle is situated on the

site, it shall be positioned along the rear of the building in a location that does not interfere with access to any parking space, impede use of the vehicular drive aisle, or encroach into any required buffer yard or setback, and shall conform with all of the requirements of section 5.4.4.A of the Norfolk Zoning Ordinance, Refuse Containers.

- (o) During all hours of operation, the establishment operator shall be responsible for maintaining those portions of public rights-of-way improved by sidewalk and portions of any parking lot adjacent to the premises regulated by the conditional use permit so as to keep such areas free of litter, refuse, and both solid and liquid waste.
- (p) The establishment shall maintain a current, active business license at all times while in operation.
- (q) The establishment shall remain current on all food and beverage taxes, business personal property taxes, and other local taxes which may become due while it is in operation.
- (r) The establishment shall maintain a designated driver program which shall provide, at minimum, that designated drivers may be served non-alcoholic beverages at no charge. The establishment shall describe the program in writing and its availability shall be made known to patrons by printing it either on the menu or a card placed on each table and the bar.
- (s) The violation of any condition, requirement, or limitation imposed by the Virginia ABC Authority shall be deemed a violation of this ordinance. Any conditional use permit granted by the ordinance may be revoked for any violation of a general or specific condition, including a condition incorporated by reference or arising from conditions, requirements, or limitations imposed on any aspect of the operation of the establishment by the ABC Authority or by Virginia law.
- (t) A copy of this conditional use permit ordinance and Exhibits shall be available on the premises

at all times for inspection, and a notice indicating that this conditional use permit ordinance and all amendments are kept on the premises and are available for review by any member of the general public shall be posted in a visible location. The notice shall also contain information on where and how to report violations of conditions and shall include the address of the zoning administrator.

- (u) A binder or folder containing documentation relating to the operation of the establishment shall be kept on the premises at all times and shall be produced upon request made by any person. For purposes of this section, the documentation relating to the operation of the establishment shall include copies of the following:

- (1) This ordinance;
- (2) Any ABC license(s);
- (3) Any occupancy permit(s);
- (4) Certifications of all persons who work on the premises as a security guard;
- (5) All fire code certifications, including alarm and sprinkler inspection records;
- (6) Any health department permit(s);
- (7) The emergency action plan required under the Fire Prevention Code;
- (8) The names, addresses, and phone numbers of all persons who manage or supervise the establishment at any time;
- (9) The establishment's designated driver program; and
- (10) The establishment's Security Plan.

- (v) The business shall provide in-house security or retain the services of a licensed security firm to provide security services at a rate of one security guard per 50 guest occupants on the property whenever occupancy shall exceed 99

people or when otherwise required by at least 36 hours prior written notice of the Fire Marshal, Chief of Police, or any designee of either. After 8:00 p.m. each Friday and Saturday as well as during special events, a security supervisor certified in accordance with the requirements of the Virginia Department of Criminal Justice Services shall be present on the property.

- (w) The written security plan submitted to the City as part of the application for this permit and on file with the Department of Planning shall remain in full force and effect at all times while the establishment is in operation.

Section 4:- That the City Council hereby determines that the conditional use permit or permits granted herein comply with each of the standards set forth in section 2.4.8.C of the Norfolk Zoning Ordinance.

Section 5:- That, because the operation of this establishment in the manner proposed in the application requires the grant of more than one conditional use permit, the City Council finds that its operation is only appropriate at the location where it is being authorized when conducted in the manner proposed, as modified by the City Council, and that each permit should be subject to the same conditions, requirements and limitations in order to constrain the operation in a manner that adequately protects public health, safety, and welfare.

Section 6:- That this ordinance hereby amends the previously granted special exception permitting the operation of an entertainment establishment, adopted on March 22, 201 (Ordinance No. 44,182), on this property. All provisions and conditions previously approved are entirely superseded by the terms of this ordinance.

Section 7:- That this ordinance shall be in effect from the date of its adoption.

ATTACHMENTS:

Exhibit A (4 pages)

Exhibit B (7 pages)



EXHIBIT "A"

Description of Operations

Banquet Hall with Live Entertainment/Sale of Alcoholic Beverages, On-Premises

Date: February 23, 2021Trade name of business: Up Center, LLCAddress of business: 5957 E. Virginia Beach Boulevard, Norfolk, Virginia 23502Name(s) of business owner(s)*: Up Center, LLC, a Virginia limited liability companyName(s) of property owner(s)*: Roosevelt Plaza AssociatesName of business managers/operators Ngan Nguyen; Dedrick LearyCharbel Boulos; Joyce Leary; Shameka LearyDaytime telephone number: (757) 395-7435

*If business or property owner is a partnership, all partners must be listed.

*If business or property owner is an LLC or Corporation, all principals must be listed.

1. Proposed Hours of Operation:

<u>Facility</u>	<u>Alcoholic Beverage Sales and Live Entertainment</u>
Weekday From: <u>9 a.m.</u> To: <u>12 a.m.</u>	Weekday From: <u>12 p.m.</u> To: <u>12 a.m.</u>
Friday From: <u>9 a.m.</u> To: <u>12 a.m.</u>	Friday From: <u>12 p.m.</u> To: <u>12 a.m.</u>
Saturday From: <u>9 a.m.</u> To: <u>12 a.m.</u>	Saturday From: <u>12 p.m.</u> To: <u>12 a.m.</u>
Sunday From: <u>9 a.m.</u> To: <u>12 a.m.</u>	Sunday From: <u>12 p.m.</u> To: <u>12 a.m.</u>

2. Type of ABC license applied for (check all applicable boxes):

☒ On-Premises ☐ Off-Premises (second application required)

DEPARTMENT OF CITY PLANNING

810 Union Street, Room 508

Norfolk, Virginia 23510

Telephone (757) 664-4752 Fax (757) 441-1569

(Revised July 2019)

Exhibit A – Page 2

Banquet Hall with Live Entertainment/Sale of Alcoholic Beverages, On-Premises

3. Type of alcoholic beverage applied for:

☒ Beer ☒ Wine ☒ Mixed

4. Will video games, pool tables, game boards or other types of games be provided?

☐ Yes (If more than 4, additional application required) ☒ No

4a. If yes, please describe type and number of each game to be provided:

5. Will patrons ever be charged to enter the establishment?

☐ Yes ☒ No

5a. If yes, why:

5b. Which days of the week will there be a cover charge (circle all applicable days):

[Monday] [Tuesday] [Wednesday] [Thursday] [Friday] [Saturday] [Sunday]

6. Will the facility or a portion of the facility be available for private parties?

☒ Yes ☐ No

6a. If yes, explain:

Weddings. Receptions, Retirement Party

7. Will a third party (promoter) be permitted to lease, let or use the establishment?

☐ Yes ☒ No

7a. If yes, explain:

8. Will there ever be a minimum age limit?

☐ Yes ☒ No

Exhibit A – Page 3

Banquet Hall with Live Entertainment/Sale of Alcoholic Beverages, On-Premises

9. Please provide relevant experience of all managers:

Manager Name: Dedrick LearyName and Address of Establishment: The Gourmet Breakfast Place, 838 Old George Washington Hwy,
Date of Employment: 2011 - 2013 Chesapeake, Virginia 23323Manager Name: Ngan NguyenName and Address of Establishment: Sycuan Casino, 5469 Casino Way, El Cajon, CA 92019
Date of Employment: 2006 -2016Manager Name: Charbel BoulosName and Address of Establishment: Bay Food Mart , 2707 Granby st. Norfolk VA 23517
Date of Employment: 1995- 2021Manager Name: Joyce LearyName and Address of Establishment: Dragon Cellular 6045 high st W. Portsmouth VA 23703
Date of Employment: 2004- 2018Manager Name: Shameka LearyName and Address of Establishment: Polar Wireless 1216 Little Creek rd. Norfolk VA 23518
Date of Employment: 2006- 2018

10. Additional comments/description/operational characteristics:

The applicant's proposed members and managing member owned and operated similar facilitiesand have worked in this industry. All possess the necessary experience to manage in this capacity.

Note: If smoking is permitted, then floor plans must be submitted showing all necessary building code requirements for such facility

Ngan Nguyen

Signature of Applicant

Exhibit A – Floor Plan(s) Worksheet**Banquet Hall with Live Entertainment/Sale of Alcoholic Beverages, On-Premises**

- Complete this worksheet based for each floor plan submitted with application.
- Floor plan(s) must be prepared by a registered design professional and include:
 - Tables/seats
 - Restroom facilities
 - Bar
 - Ingress and egress
 - Standing room
 - Disc Jockey/Band/Entertainment area)
 - Outdoor seating
 - Total maximum capacity (including employees)

1. Total capacity**a. Indoor**Number of seats (not including bar seats) 500Number of bar seats 120Standing room **b. Outdoor**Number of seats 0**c. Number of employees**40**Total Occupancy****(Indoor/Outdoor seats, standing room and employees) = 660****2. Entertainment**

List ANY type of entertainment proposed (such as 3-member live band, karaoke, comedian, or poetry reading.)

Comedian, 5 Member Live Band, Dj**3. Will a dance floor be provided?**☒ Yes ☐ No**3a. If yes,**Square footage of establishment 22,000Square footage of dance floor 400

- If a disc jockey is proposed, a dance floor must be provided.
- If the dance floor is more than 10% of the square footage of the establishment, a Dance Hall permit is required.

DEPARTMENT OF CITY PLANNING

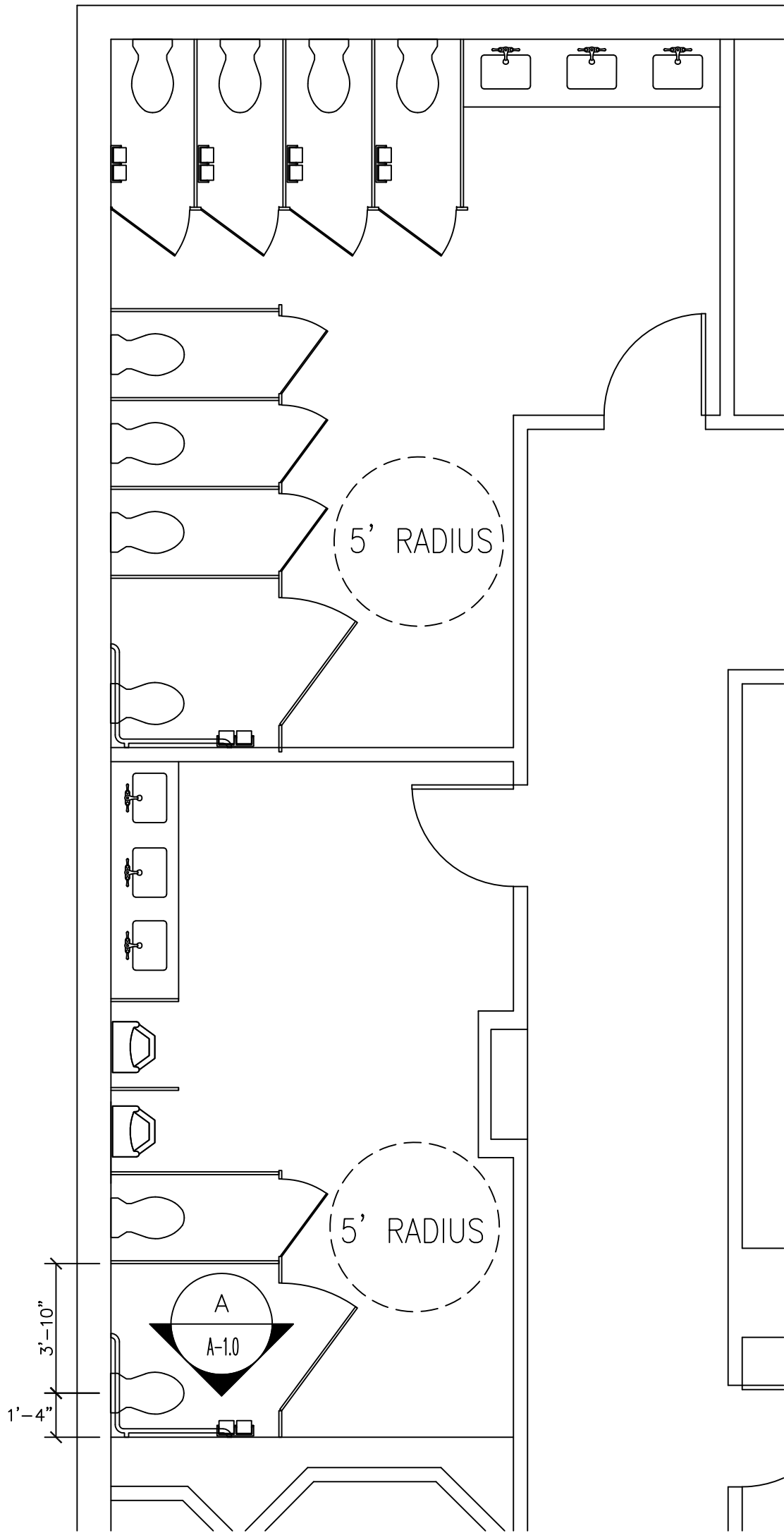
810 Union Street, Room 508

Norfolk, Virginia 23510

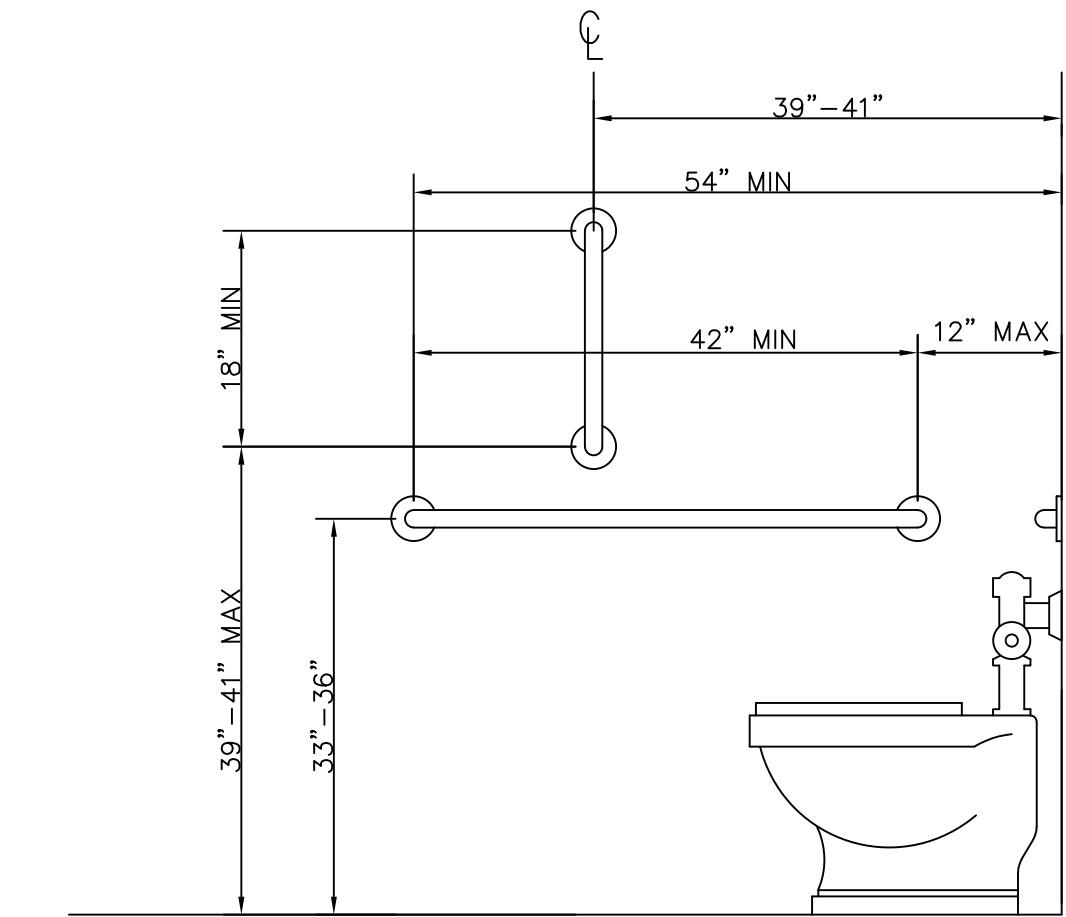
Telephone (757) 664-4752 Fax (757) 441-1569

(Revised July 2010)

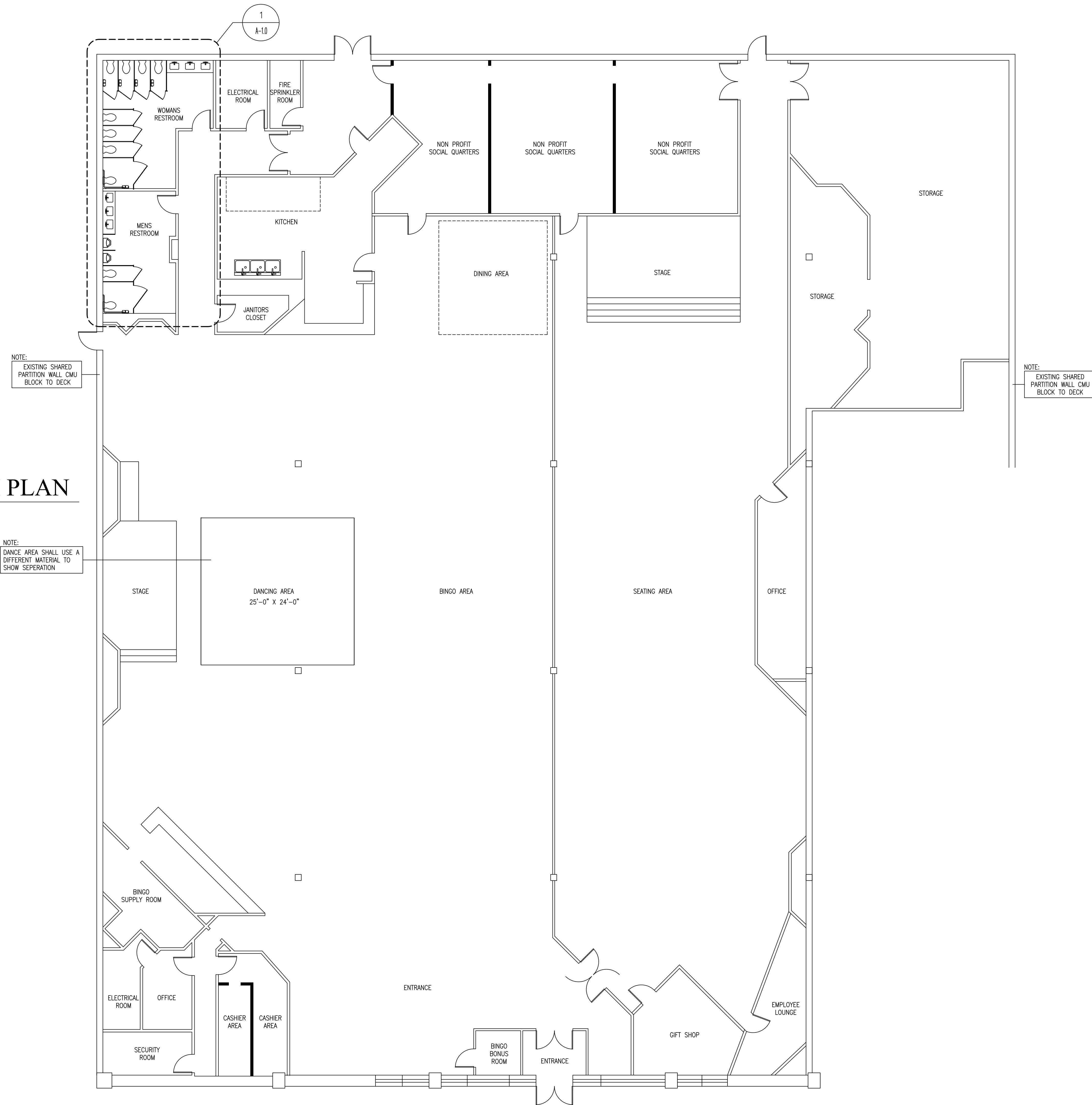
EXHIBIT B



1
A-10
ENLARGED BATHROOM PLAN
SCALE: 1/4" = 1'-0"



A
A-10
BATHROOM DETAIL
SCALE: 3/4" = 1'-0"



FLOOR PLAN OVERALL
SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. ALL ITEMS INDICATED TO BE REMOVED SHALL BE DISPOSED OF OFF SITE BY THE CONTRACTOR UNLESS OTHERWISE NOTED.

2. ALL WOOD BLOCKING AND MISCELLANEOUS STEEL SHOWN IN DETAILS AND SECTIONS SHALL BE CONTINUOUS UNLESS SPECIFICALLY NOTED OTHERWISE.

3. THE CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS PRIOR TO PROCEEDING WITH THE WORK. DIMENSIONS FOR EXISTING WORK ARE INDICATED AS "E". ALL DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONTRACTING OFFICER IN WRITING.

4. DIMENSIONS INDICATED FOR NEW WORK ARE TO FACE OF STUD, FACE OF MASONRY OR FACE OF EXISTING SURFACES UNLESS OTHERWISE NOTED.

LEGEND

(A) DOOR TAG

(A-2) WALL TAG

(A) NEW WORK NOTE

EXISTING

NEW WORK

DOOR TYPE
SCALE: 1/4" = 1'-0"

DESCRIPTION

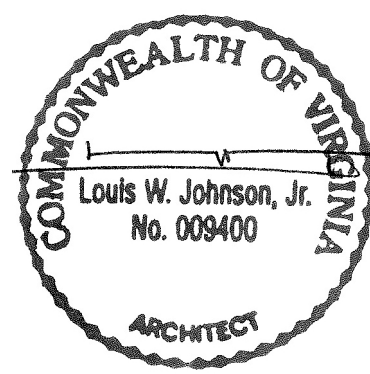
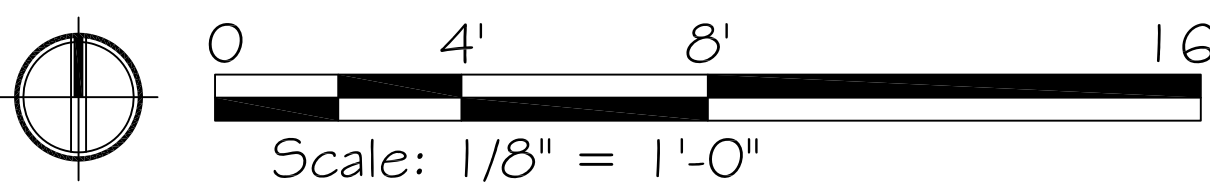
(A) 3'-0" x 7'-0" METAL DOORS W/ GLAZING
LEVER STYLE DOOR HARDWARE INCLUDED

PARTITION TYPE
SCALE: 1/4" = 1'-0"

DESCRIPTION

(A) 3 1/2" STEEL STUDS @ 16" O.C. W/ 1/2" TYPE "X" GYP. BD BOTH SIDES.

NOTE: ALL NEW PARTITIONS ARE TO EXTEND 6" ABOVE THE CEILING UNLESS OTHERWISE NOTED.



FLOOR PLAN OVERALL AND ENLARGED
BATHROOM DETAIL

ANDER TAYLOR
ARCHITECTURAL DESIGNER
Norfolk, Virginia 23501

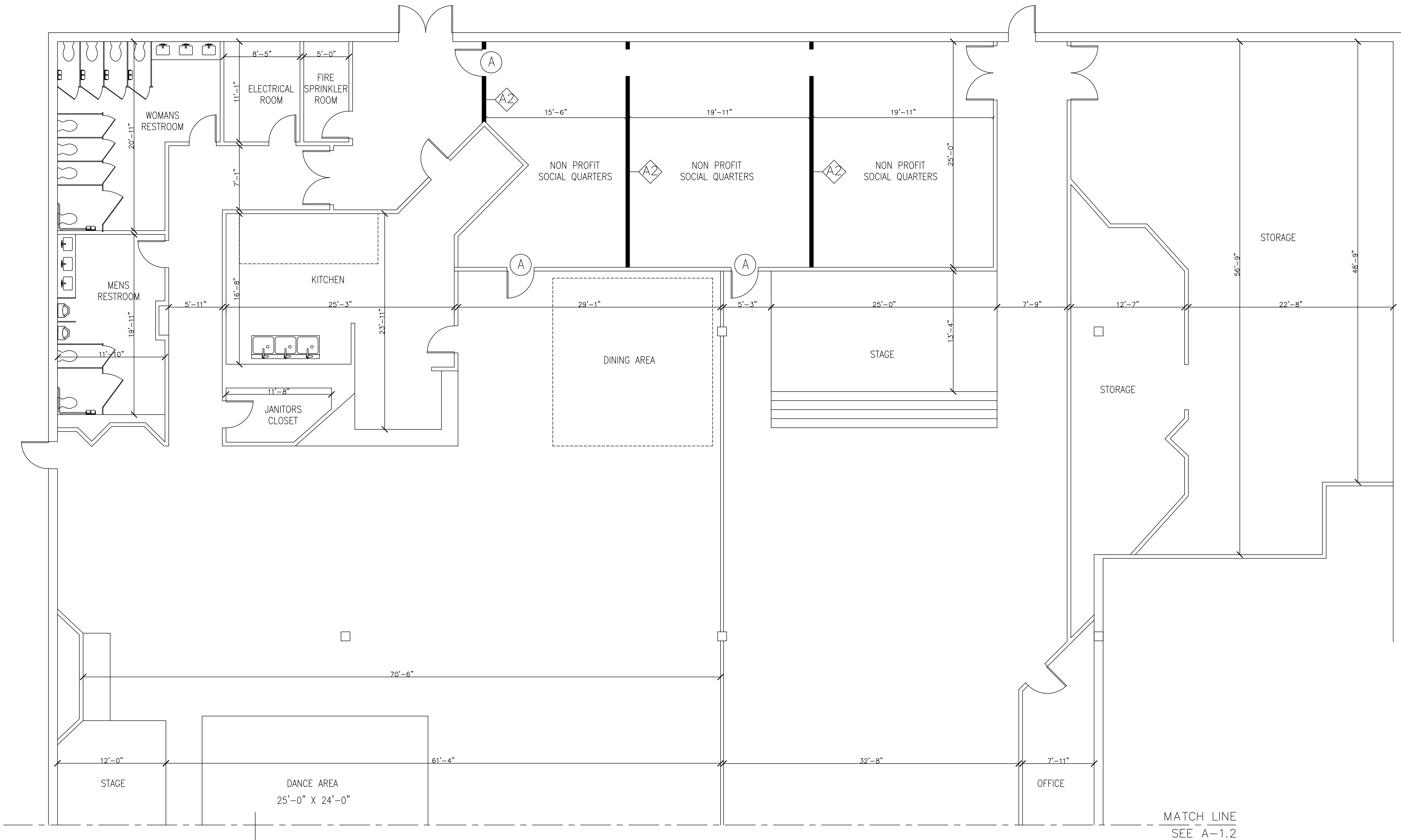
5957 EAST VIRGINIA BEACH BLVD SUITE 15, NORFOLK, VA 23502

SHEET
A-1.0

Drawn By: [Checked By: LEW]
AKT C1.757.709.9100

BINGO HALL RENOVATION

BINGO HALL



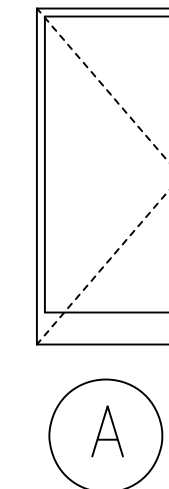
FLOOR PLAN PART A
SCALE: 3/16" = 1'-0"

GENERAL NOTES

- ALL ITEMS INDICATED TO BE REMOVED SHALL BE DISPOSED OF OFF SITE BY THE CONTRACTOR UNLESS OTHERWISE NOTED.
- ALL WOOD BLOCCING AND MISCELLANEOUS STEEL SHOWN IN DETAILS AND SECTIONS SHALL BE CONTINUOUS UNLESS SPECIFICALLY NOTED OTHERWISE.
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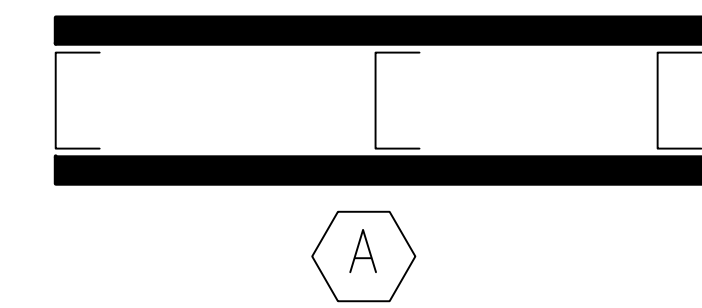
LEGEND

- (A) DOOR TAG
- (A2) WALL TAG
- (A) NEW WORK NOTE
- EXISTING
- NEW WORK



DOOR TYPE
SCALE: 1/4" = 1'-0"

DESCRIPTION
(A) 3'-0" x 7'-0" METAL DOORS W/ GLAZING LEVER STYLE DOOR HARDWARE INCLUDED

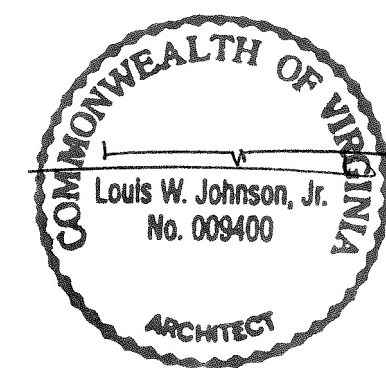
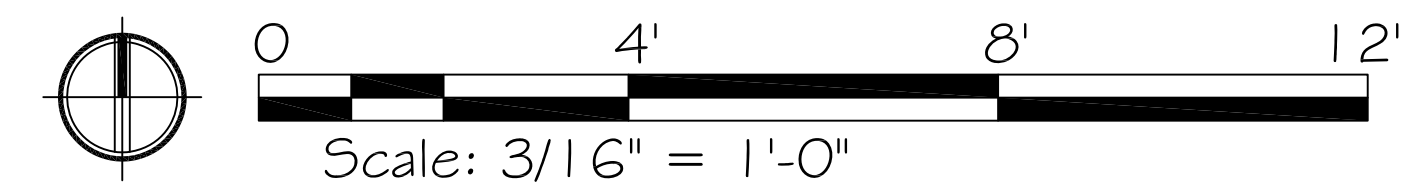
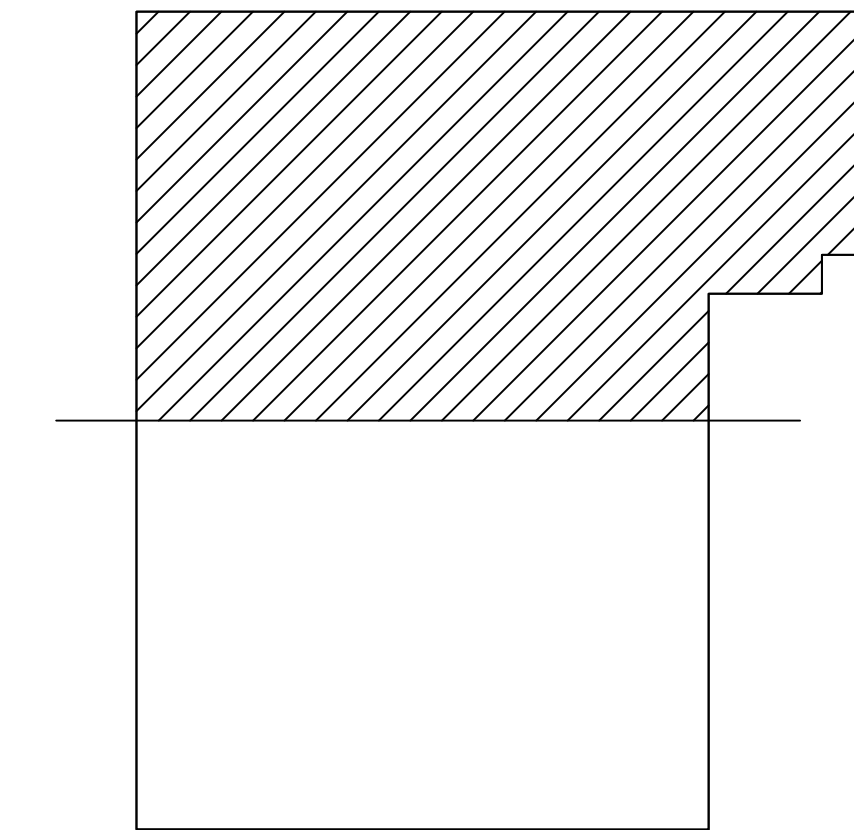


PARTITION TYPE
SCALE: 1/4" = 1'-0"

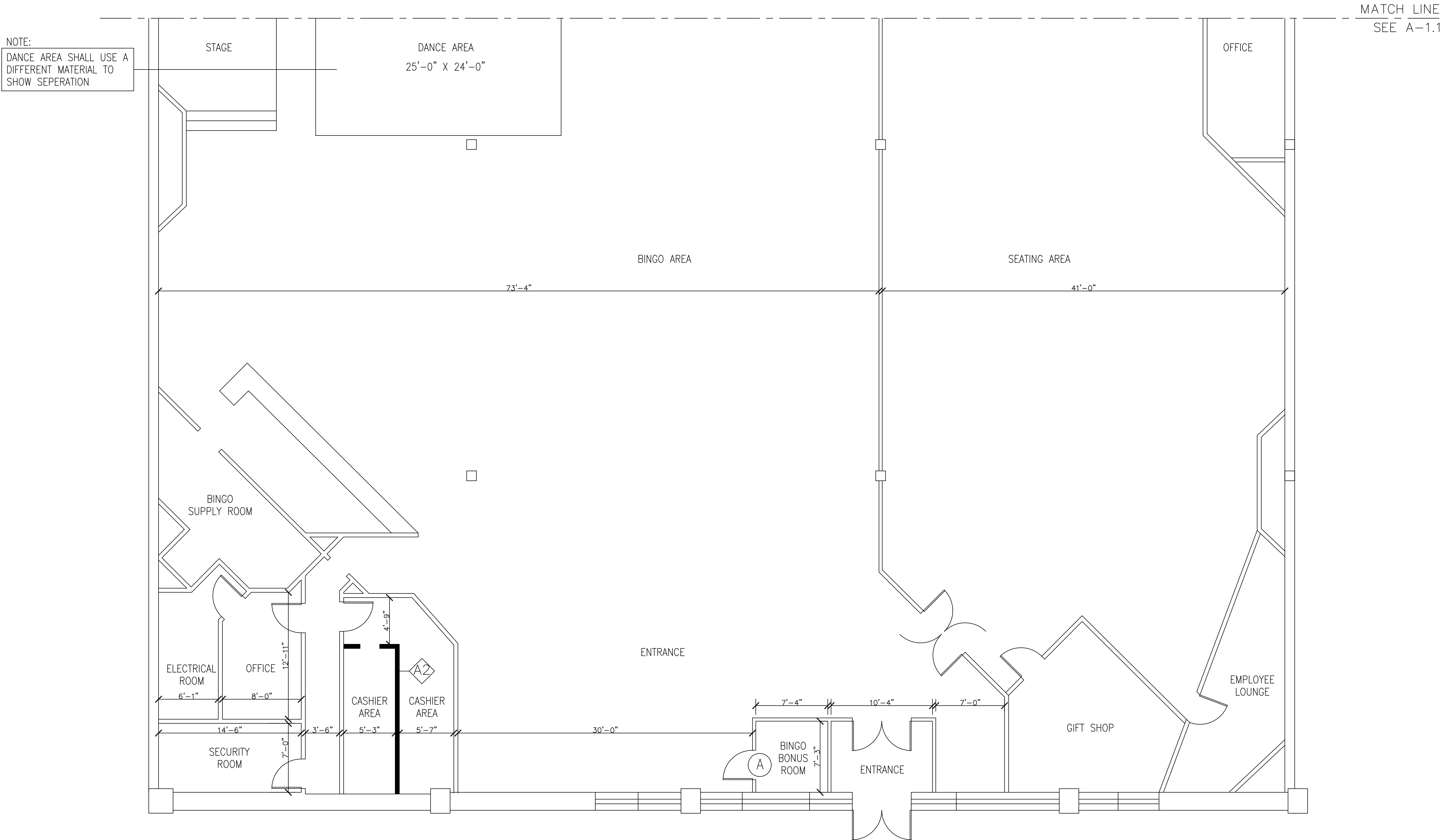
DESCRIPTION
(A) 3 3/8" STEEL STUDS @ 16" O.C. W/ 5/8" TYPE "X" GYP. BD BOTH SIDES.

NOTE: ALL NEW PARTITIONS ARE TO EXTEND 6" ABOVE THE CEILING UNLESS OTHERWISE NOTED.

KEY PLAN



5957 EAST VIRGINIA BEACH BLVD SUITE 15, NORFOLK, VA 23502
BINGO HALL RENOVATION
BINGO HALL
FLOOR PLAN PART A
ANDER TAYLOR
ARCHITECTURAL DESIGNER
Norfolk, Virginia 23501
Drawn By: AKT
Checked By: LEW
C1.757.709.9100
SHEET
A-1.1



FLOOR PLAN PART B

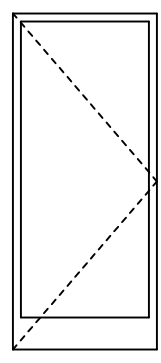
SCALE: 3/16" = 1'-0"

GENERAL NOTES

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- DIMENSIONS INDICATED FOR NEW WORK ARE TO FACE OF STUD, FACE OF MASONRY OR FACE OF EXISTING SURFACES UNLESS OTHERWISE NOTED.

LEGEND

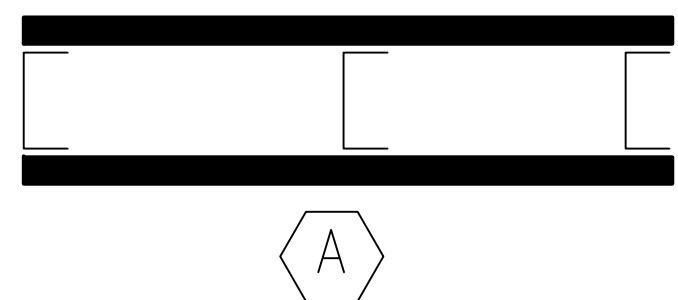
- DOOR TAG
- WALL TAG
- NEW WORK NOTE
- EXISTING
- NEW WORK



DOOR TYPE

SCALE: 1/4" = 1'-0"

DESCRIPTION	
A	3'-0" x 7'-0" METAL DOORS W/ GLAZING LEVER STYLE DOOR HARDWARE INCLUDED



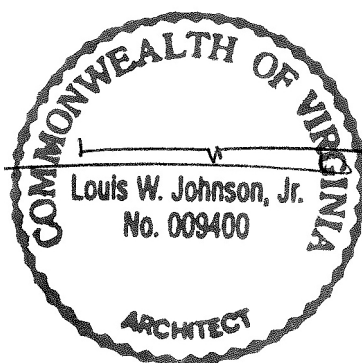
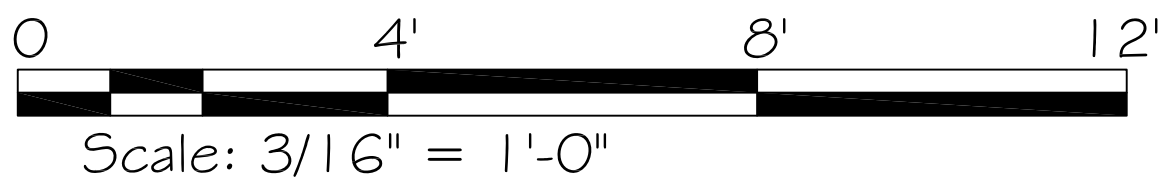
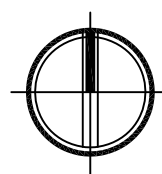
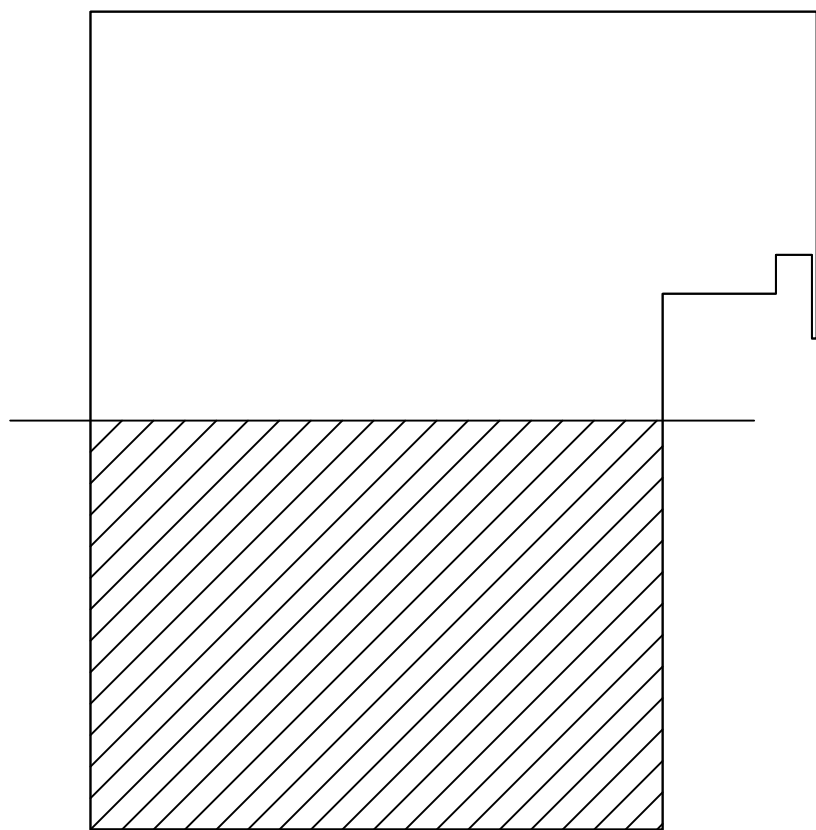
A PARTITION TYPE

A2 SCALE: 1/4" = 1'-0"

DESCRIPTION	
A	3 1/2" STEEL STUDS @ 16" O.C. W/ 1/2" TYPE 'X' GYP. BD BOTH SIDES.

NOTE: ALL NEW PARTITIONS ARE TO EXTEND 6"
ABOVE THE CEILING UNLESS OTHERWISE NOTED.

KEY PLAN



FLOOR PLAN PART B

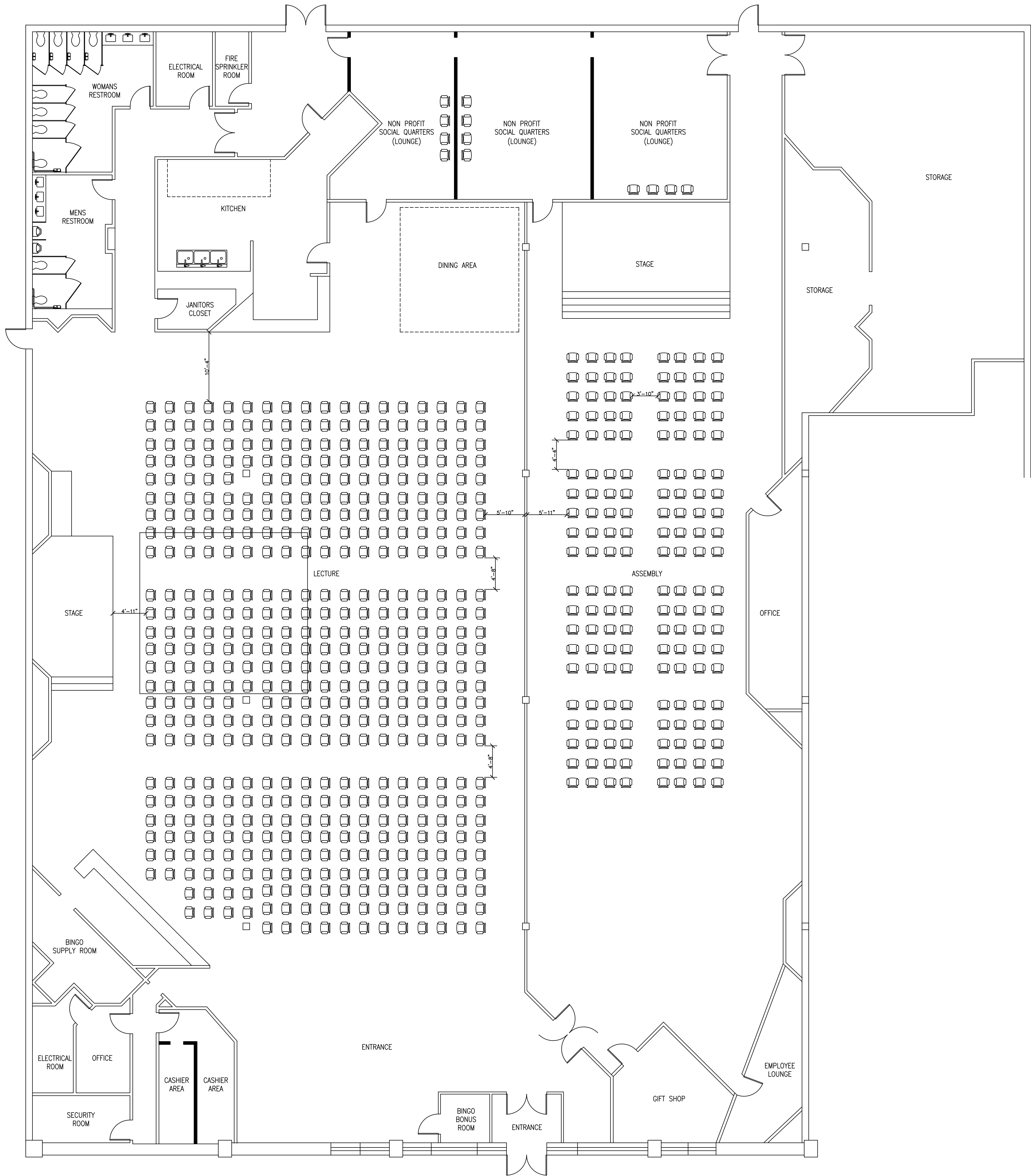
ANDER TAYLOR
ARCHITECTURAL DESIGNER
Norfolk, Virginia 23501

5957 EAST VIRGINIA BEACH BLVD SUITE 15, NORFOLK, VA 23502

BINGO HALL RENOVATION

BINGO HALL

SHEET
A-1.2



FURNITURE PLAN LECTURE HALL
SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. ALL ITEMS INDICATED TO BE REMOVED SHALL BE DISPOSED OF OFF SITE BY THE CONTRACTOR UNLESS OTHERWISE NOTED.
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4. DIMENSIONS INDICATED FOR NEW WORK ARE TO FACE OF STUD, FACE OF MASONRY OR FACE OF EXISTING SURFACES UNLESS OTHERWISE NOTED.

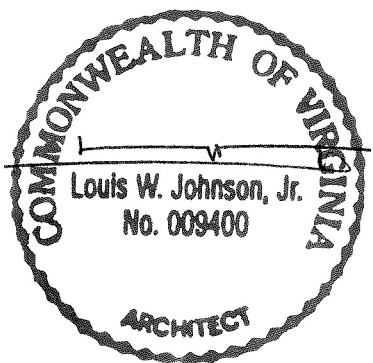
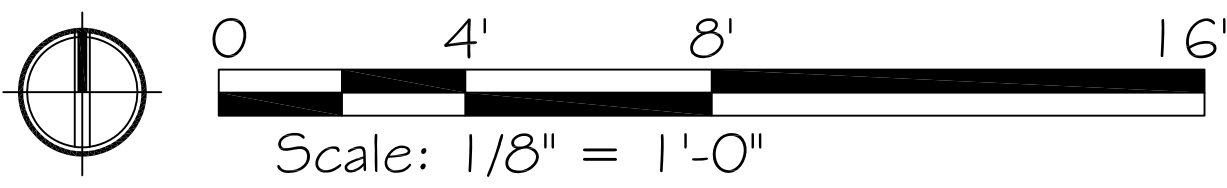
LEGEND

- CHAIR SYMBOL
- TABLE SYMBOL

OCCUPANCY LOAD

STAGE = 1,397 sf / 80 persons
DINING = 328 sf / 21 persons
LECTURE = 6,328 sf / 500 persons
STORAGE = 3,607 sf / 12 persons
OFFICE = 988 sf / 9 persons
SHOP = 219 sf / 4 persons
LOUNGE = 177 sf / 11 persons
KITCHEN = 607 sq / 3 persons
ASSEMBLY = 3,898 sq / 160 persons
TOTAL 800 persons

NOTE: ALL DATA REFERENCED FROM COVER SHEET



FURNITURE PLAN LECTURE HALL

ANDER TAYLOR
ARCHITECTURAL DESIGNER
Norfolk, Virginia 23501

JOB NO.	DATE	SCALE
-	4.20.2021	-

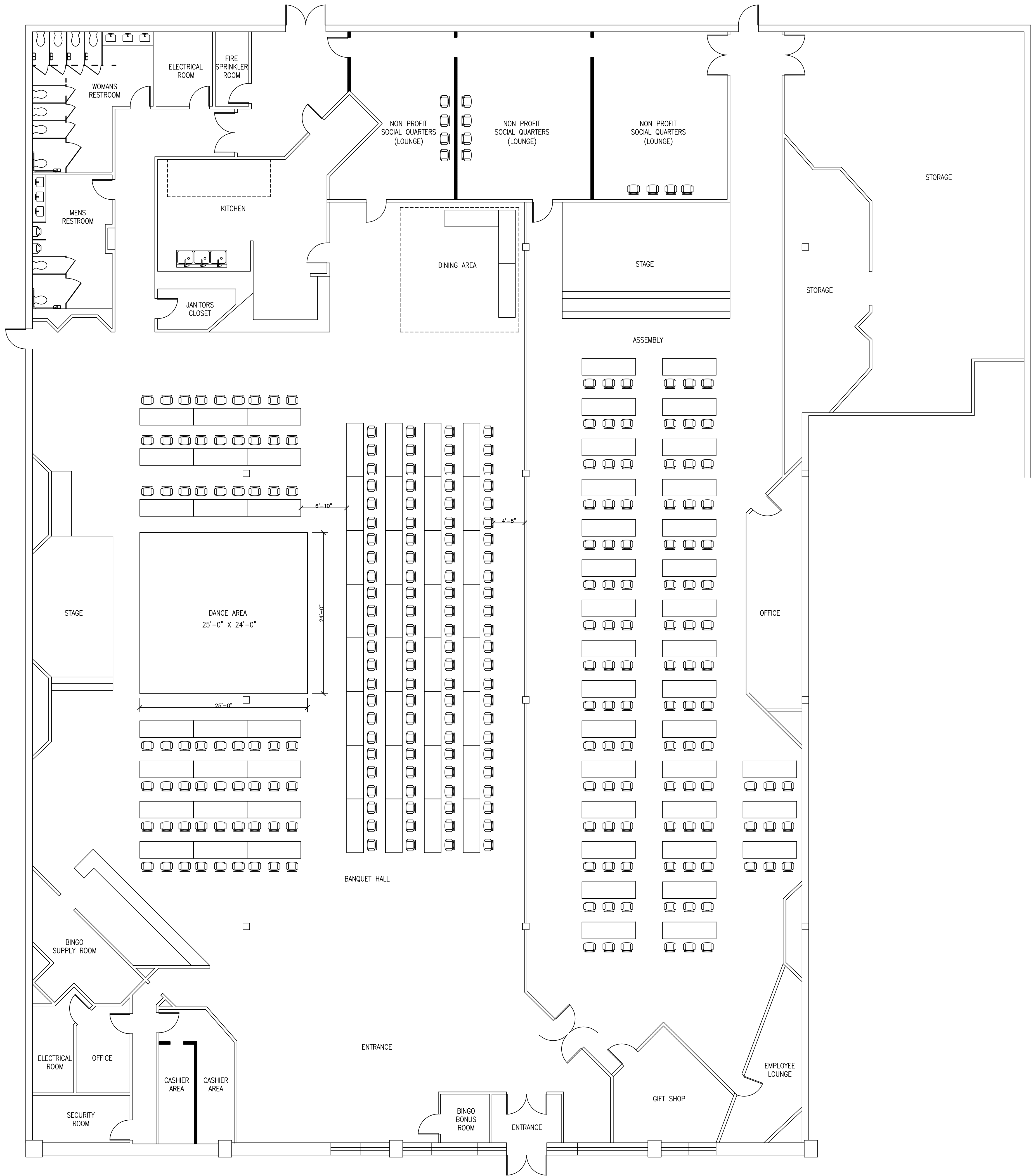
BINGO HALL RENOVATION

5957 EAST VIRGINIA BEACH BLVD SUITE 15, NORFOLK, VA 23502
BINGO HALL

SHEET
F-1.1

Drawn By AKT
Checked By LEW

C1.757.709.9100



FURNITURE PLAN BANQUET HALL
SCALE: 1/8" = 1'-0"

GENERAL NOTES

- 1. ALL ITEMS INDICATED TO BE REMOVED SHALL BE DISPOSED OF OFF SITE BY THE CONTRACTOR UNLESS OTHERWISE NOTED.
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- 4. DIMENSIONS INDICATED FOR NEW WORK ARE TO FACE OF STUD, FACE OF MASONRY OR FACE OF EXISTING SURFACES UNLESS OTHERWISE NOTED.

LEGEND

- CHAIR SYMBOL
- TABLE SYMBOL

OCCUPANCY LOAD

STAGE/DANCE = 1,397 sf / 80 persons
DINING = 328 sf / 21 persons
BANQUET = 8,328 sf / 500 persons
STORAGE = 3,607 sf / 12 persons
OFFICE = 988 sf / 9 persons
SHOP = 219 sf / 4 persons
LOUNGE = 177 sf / 11 persons
KITCHEN = 607 sq / 3 persons
ASSEMBLY = 3,898 sq / 160 persons
TOTAL 800 persons

NOTE: ALL DATA REFERENCED FROM COVER SHEET

FURNITURE PLAN BANQUET HALL

ANDER TAYLOR
ARCHITECTURAL DESIGNER
Norfolk, Virginia 23501

5957 EAST VIRGINIA BEACH BLVD SUITE 15, NORFOLK, VA 23502

SHEET
F-1.2

Drawn By
AKT

Checked By
JEW

C1.757.709.9100

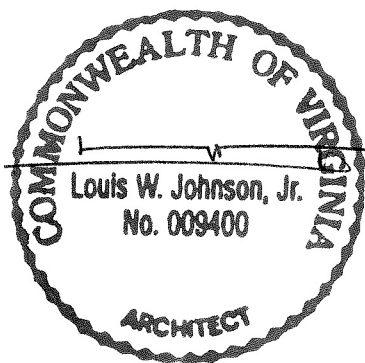
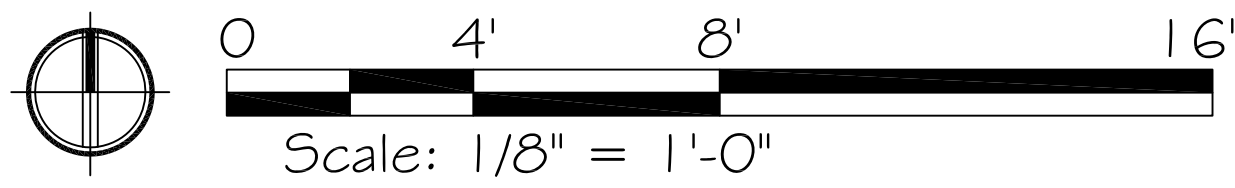
JOB NO
-

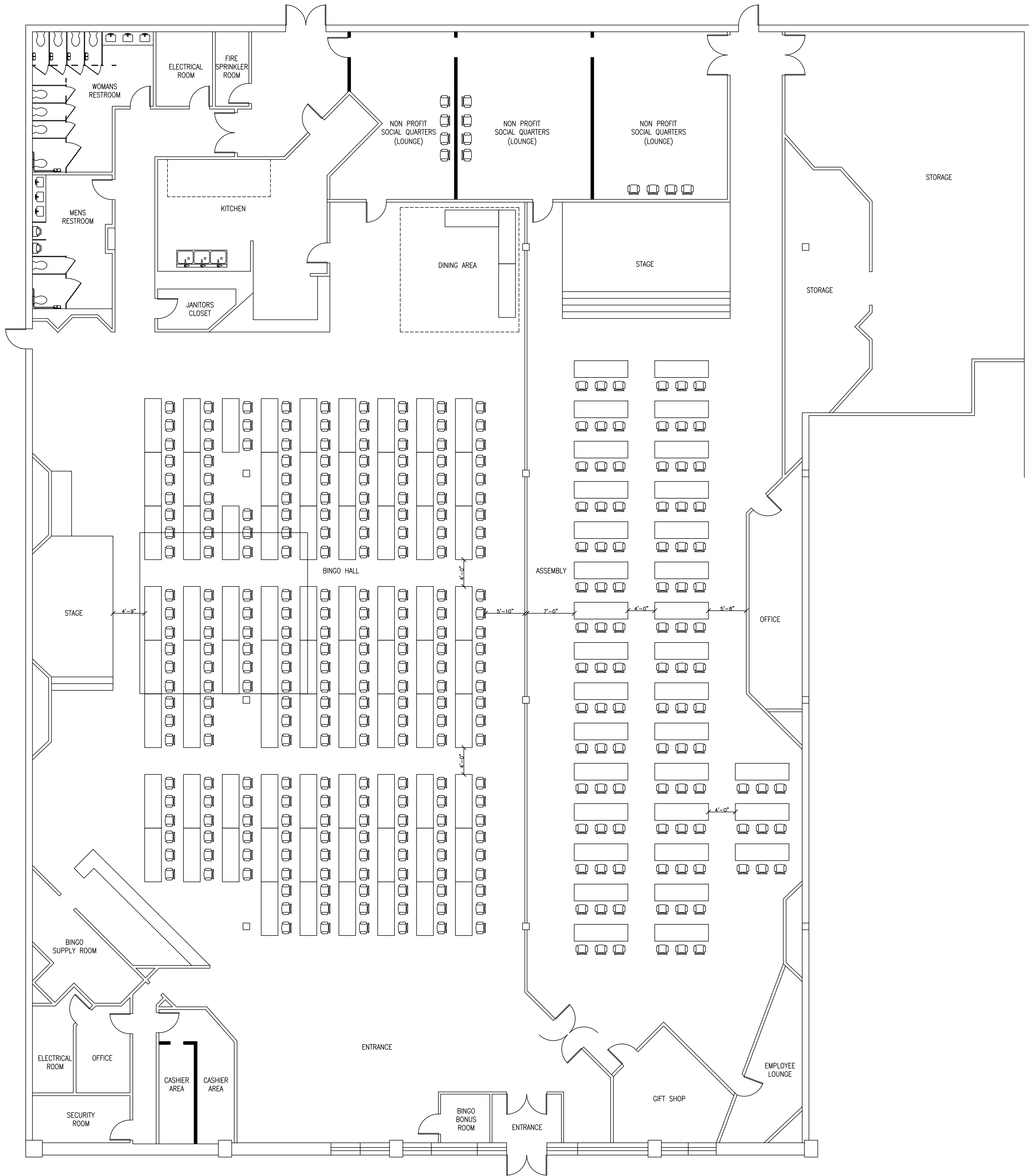
DATE
4.20.2021

SCALE
-

BINGO HALL RENOVATION

BINGO HALL





FURNITURE PLAN BINGO HALL
SCALE: 1/8" = 1'-0"

GENERAL NOTES

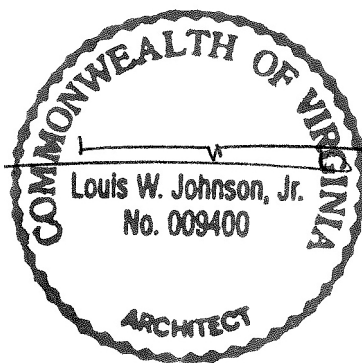
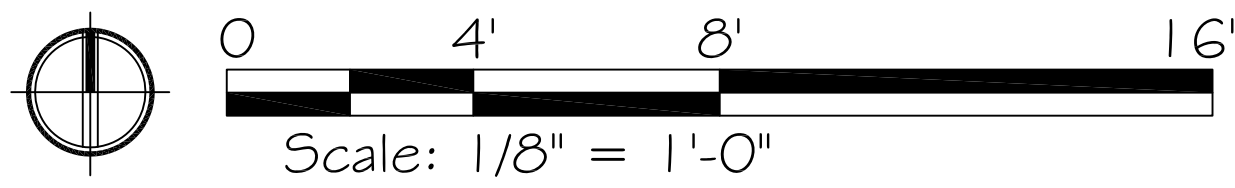
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- 4. DIMENSIONS INDICATED FOR NEW WORK ARE TO FACE OF STUD, FACE OF MASONRY OR FACE OF EXISTING SURFACES UNLESS OTHERWISE NOTED.

LEGEND

- CHAIR SYMBOL
- TABLE SYMBOL

OCCUPANCY LOAD

STAGE = 1,397 sf / 80 persons
DINING = 328 sf / 21 persons
GAMING(BINGO) = 6,328 sf / 500 persons
STORAGE = 3,607 sf / 12 persons
OFFICE = 988 sf / 9 persons
SHOP = 219 sf / 4 persons
LOUNGE = 177 sf / 11 persons
KITCHEN = 607 sq / 3 persons
ASSEMBLY = 3,898 sq / 150 persons
TOTAL = 800 persons



5957 EAST VIRGINIA BEACH BLVD SUITE 15, NORFOLK, VA 23502

ANDER TAYLOR
ARCHITECTURAL DESIGNER
Norfolk, Virginia 23501

FURNITURE PLAN BINGO HALL

Drawn By: AKT
Checked By: LEW

C1.757.709.9100

JOB NO.	DATE	SCALE
-	4.20.2021	-

BINGO HALL RENOVATION

BINGO HALL

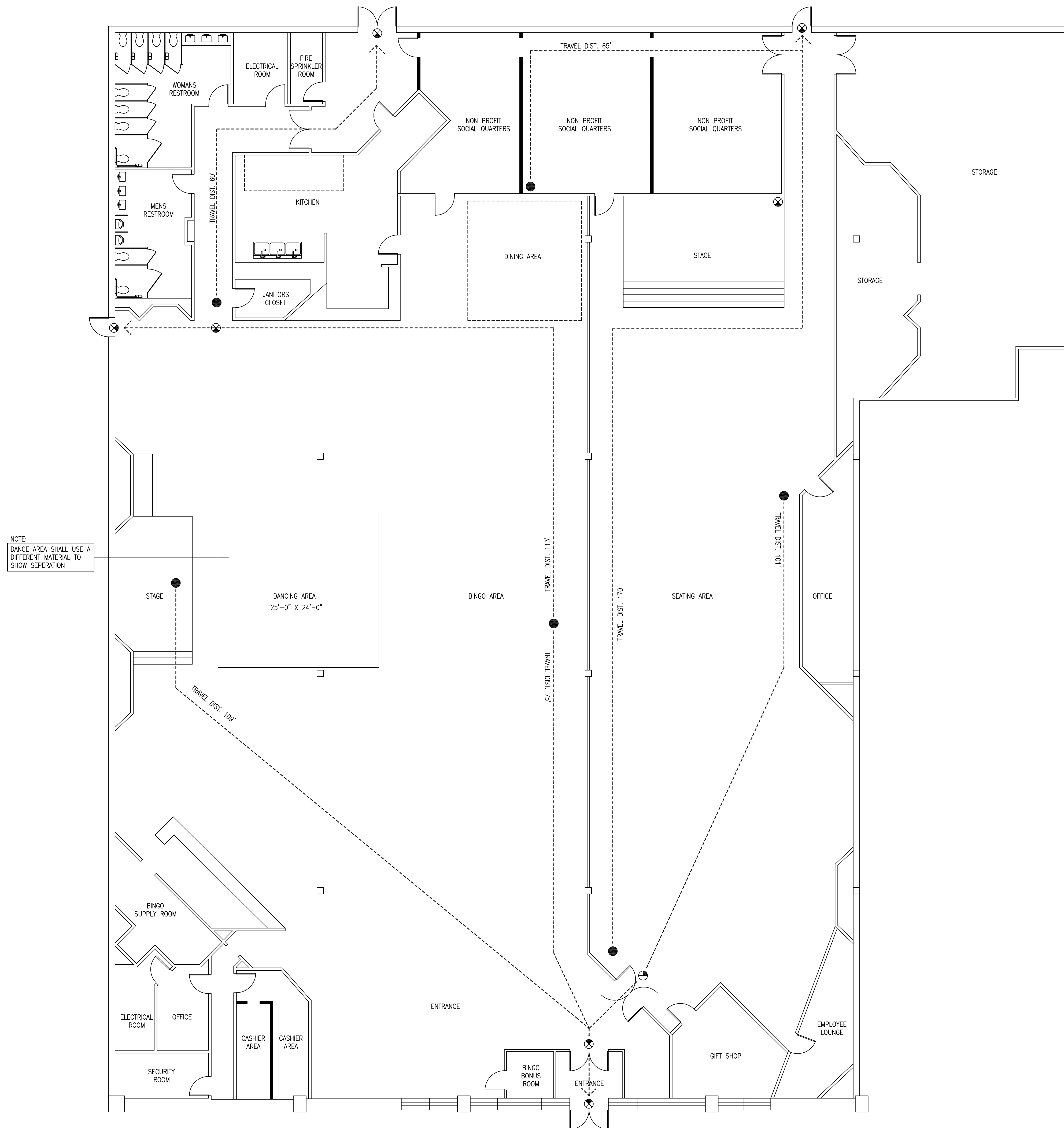
SHEET
F-1.3

GENERAL NOTES

1. THE LONGEST EXIT ACCESS TRAVEL DISTANCE FROM THE REMOTE AREAS AREAS IN THE THE FACILITY IN 170 FT. WHICH IN UNDER THE DISTANCE OF 250 FT PER TABLE 1017.2

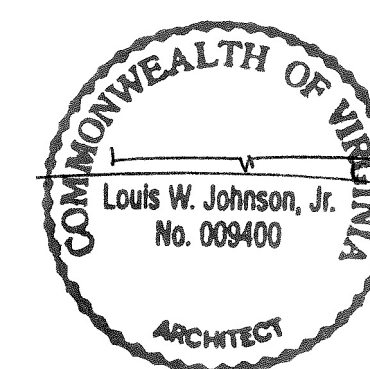
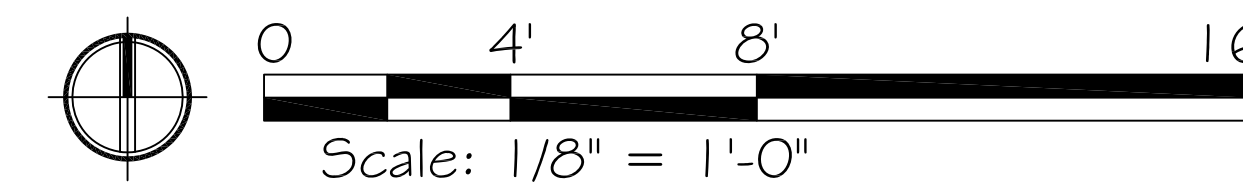
LEGEND

- YOU ARE HERE
- ⊙ EXIT SIGN
- PATH OF TRAVEL



LIFE SAFETY PLAN

SCALE: 1/8" = 1'-0"



LIFE SAFETY PLAN

ANDER TAYLOR
ARCHITECTURAL DESIGNER
Norfolk, Virginia 23523

5957 EAST VIRGINIA BEACH BLVD SUITE 15, NORFOLK, VA 23502

BINGO HALL

LS-1.0

BINGO HALL RENOVATION

JOB NO.	DATE	SCALE
-	5.14.2021	-

Drawn By	Checked By
AKT	EW

C1.757.709.9100

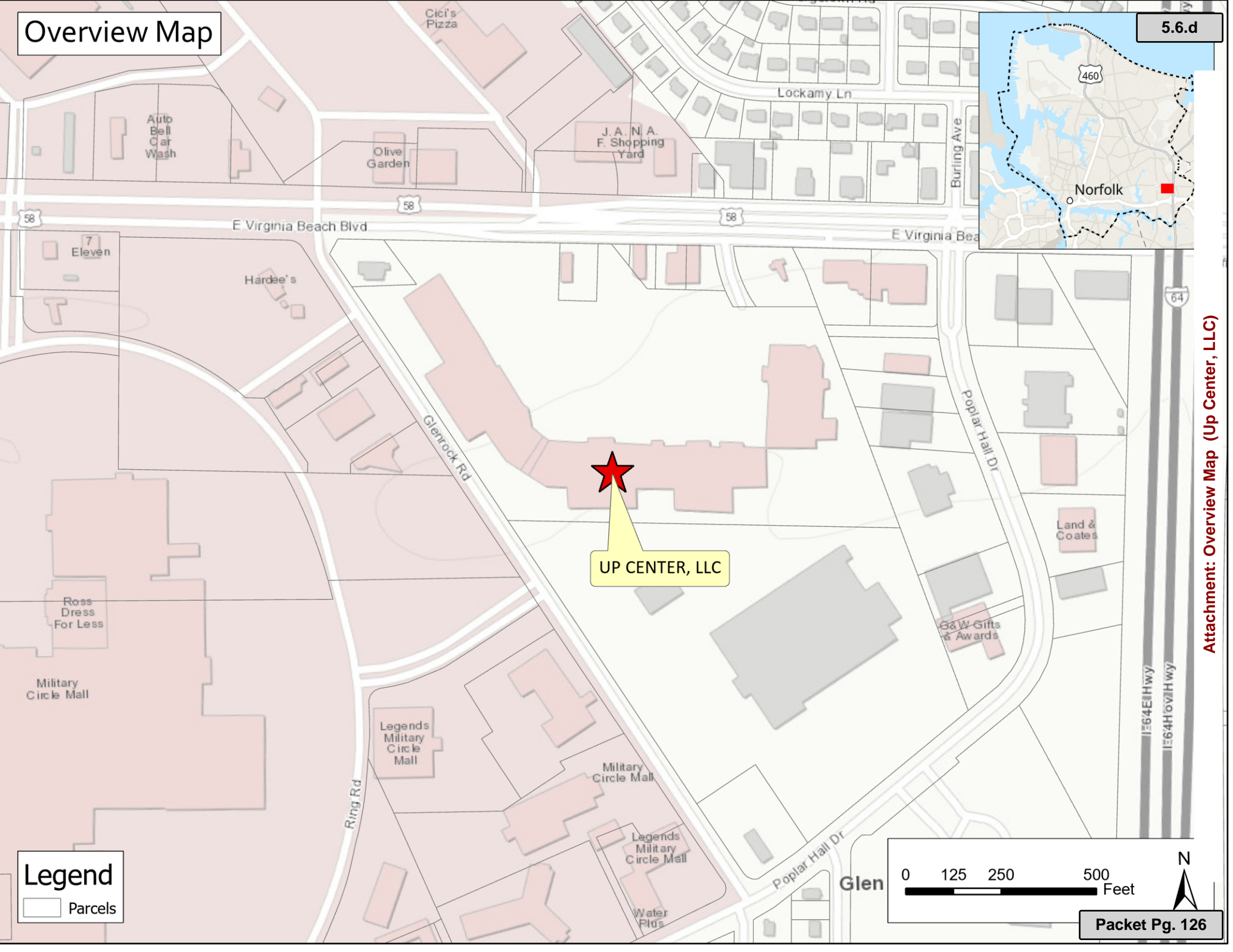
2.4.8.C. CONDITIONAL USE PERMIT REVIEW STANDARDS

A Conditional Use Permit may be approved if the applicant demonstrates that the proposed conditional use:

- 1) Is consistent with the purposes, goals and policies of the comprehensive plan and other applicable city-adopted plans;
- 2) Complies with all applicable zoning district-specific standards in Article 3. Zoning Districts;
- 3) Complies with all applicable use-specific standards in Article 4. Performance Standards;
- 4) Complies with all applicable development and design standards in Article 5. Development Standards;
- 5) Complies with all relevant subdivision and infrastructure standards in Chapter 42.5 of City Code;
- 6) Is appropriate for its location and is compatible with the general character of surrounding lands and the types, scale, and intensity of uses allowed in the zoning district where proposed;
- 7) Adequately screens, buffers, or otherwise minimizes adverse visual impacts on adjacent lands;
- 8) Avoids significant adverse odor, noise, glare, and vibration impacts on surrounding lands regarding refuse collection, service delivery, parking and loading, signs, lighting, night-time activity, and other site elements;
- 9) Avoids significant deterioration of water and air resources, scenic resources, and other natural resources;
- 10) Maintains safe and convenient ingress and egress and traffic flow onto and through the site by vehicles and pedestrians, and safe road conditions around the site;
- 11) Is served adequately by essential public facilities and services such as streets, public utilities, drainage structures, police and fire protection, refuse disposal, parks, libraries, and schools;
- 12) Maintains adequate parking, loading and other necessary facilities to serve the proposed use;
- 13) Will not substantially diminish or impair the value of the land within the neighborhood in which it is located.
- 14) Will not cause a negative cumulative effect, when its effect is considered in conjunction with the cumulative effect of various Conditional Use Permits of all types on the immediate neighborhood and the effect of the proposed type of Conditional Use Permit on the city as a whole;
- 15) Complies with all other relevant city, state and federal laws and standards; and
- 16) Is required by the public necessity, convenience, general welfare, or good zoning practice.

Overview Map

5.6.d



Legend

Parcels

0 125 250 500 Feet

N

Packet Pg. 126

Attachment: Overview Map (Up Center, LLC)

Location Map

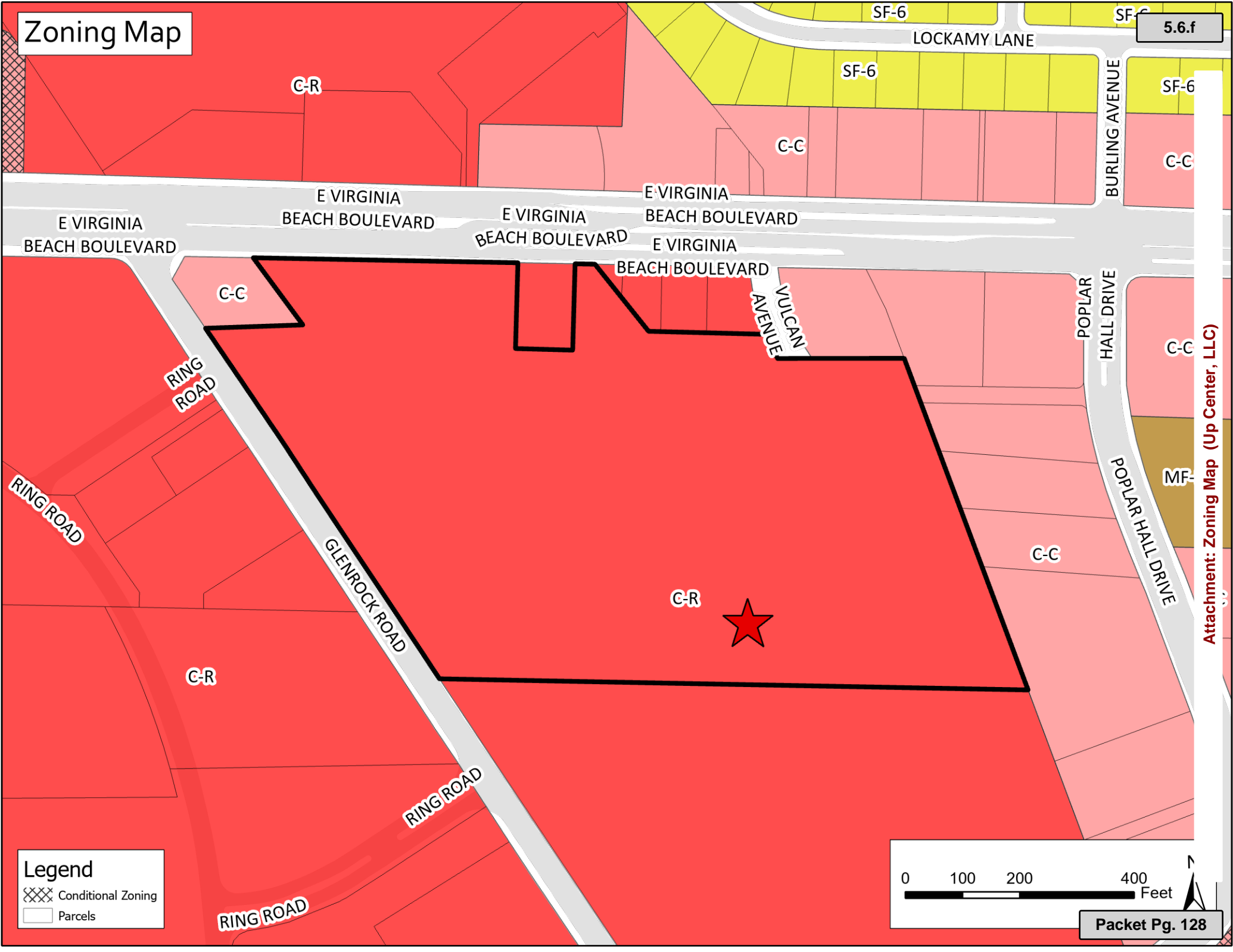


Legend

Parcels

Attachment: Location Map (Up Center, LLC)

Zoning Map



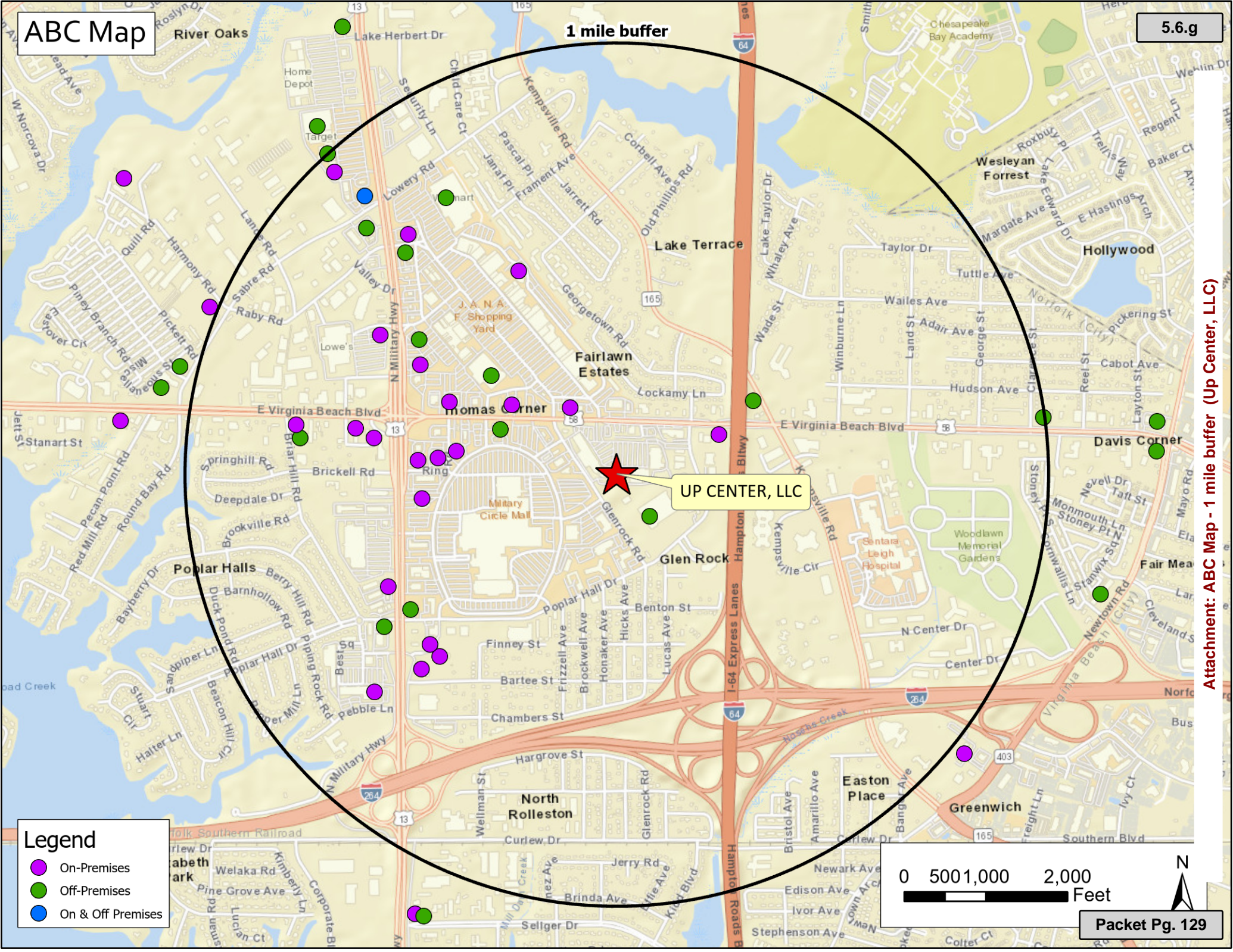
Legend

- Conditional Zoning
- Parcels

0 100 200 400 Feet

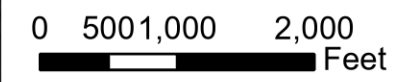


1 mile buffer



Legend

- On-Premises
- Off-Premises
- On & Off Premises





**Application
Conditional Use Permit
Banquet Hall with Live Entertainment/Sale of Alcoholic Beverages, On-Premises
(Please Print)**

Date: February 23, 2021

DESCRIPTION OF PROPERTY

Address: 5957 E. Virginia Beach Boulevard, Norfolk, Virginia 23502

Existing Use of Property: Bingo Hall

Proposed Use: Banquet Hall

Current Building Square Footage: 22,000 Proposed Building Square Footage: 22,000

Trade Name of Business (If applicable): Up Center, LLC

APPLICANT*

1. Name of applicant: (Last) Up Center /Nguyen (First) Ngan (MI) _____

Mailing address of applicant (Street/P.O. Box): 889 Lamplight Lane

(City): Virginia Beach (State): Virginia (Zip Code): 23452

Daytime telephone number of applicant: (757) 395-7455

E-mail address: Upcenterva@gmail.com

AUTHORIZED AGENT* (if applicable)

2. Name of applicant: (Last) Leary (First) Dedrick (MI) C

Mailing address of applicant (Street/P.O. Box): 5957 E Virginiabeach Blvd

(City): Norfolk (State): VA (Zip Code): 23504

Daytime telephone number of applicant: (757) 395-7455 Fax: () _____

E-mail address: upcenterva@gmail.com

DEPARTMENT OF CITY PLANNING
810 Union Street, Room 508
Norfolk, Virginia 23510
Telephone (757) 664-4752 Fax (757) 441-1569
(Revised July 2018)

Attachment: Application (Up Center, LLC)

Application**Banquet Hall with Live Entertainment/Sale of Alcoholic Beverages, On-Premises****Page 2****PROPERTY OWNER***3. Name of property owner: (Last) Shasha (First) Robert (MI) YMailing address of property owner (Street/P.O. box): 550 Mamaroneck Ave. Suite #411(City): Harrison (State): NY (Zip Code): 10528Daytime telephone number of owner: 914 570-3444E-mail address: rshasha@cotswoldgroupinc.com

*(If applicant/agent/property owner is a LLC or a Corp./Inc., include name of official representative and/or all partners)

CIVIC LEAGUE & BUSINESS ASSOCIATION INFORMATIONCivic League contact: Popular Hall Civic League, Glenrock Civic League, LakeTaylor Civic LeagueDate meeting attended/held: 01/26/21, No response/several attempts 02/11/21

Local Business Association contact: _____

Date meeting attended/held: _____

Ward/Super Ward information: _____

**Repeated efforts to contact any officer of the civic league have been unsuccessful

CERTIFICATION

I hereby submit this complete application and certify the information contained herein is true and accurate to the best of my knowledge:

Print name: Robert Shasha Sign:  3/1/2021Print name: Ngan Nguyen Sign: Ngan Nguyen February 23, 2021
(Applicant) (Date)(If Applicable)Print name: Dedrick Leary Sign: Dedrick leary February 23, 2021
(Authorized Agent Signature) (Date)**DEPARTMENT OF CITY PLANNING**

810 Union Street, Room 508

Norfolk, Virginia 23510

Telephone (757) 664-4752 Fax (757) 441-1569

(Revised July 2018)



EXHIBIT "A"

Description of Operations

Banquet Hall with Live Entertainment/Sale of Alcoholic Beverages, On-Premises

Date: February 23, 2021Trade name of business: Up Center, LLCAddress of business: 5957 E. Virginia Beach Boulevard, Norfolk, Virginia 23502Name(s) of business owner(s)*: Up Center, LLC, a Virginia limited liability companyName(s) of property owner(s)*: Roosevelt Plaza AssociatesName of business managers/operators Ngan Nguyen; Dedrick LearyCharbel Boulos; Joyce Leary; Shameka LearyDaytime telephone number: (757) 395-7435

*If business or property owner is a partnership, all partners must be listed.

*If business or property owner is an LLC or Corporation, all principals must be listed.

1. Proposed Hours of Operation:

<u>Facility</u>	<u>Alcoholic Beverage Sales and Live Entertainment</u>
Weekday From: <u>9 a.m.</u> To: <u>12 a.m.</u>	Weekday From: <u>12 p.m.</u> To: <u>12 a.m.</u>
Friday From: <u>9 a.m.</u> To: <u>12 a.m.</u>	Friday From: <u>12 p.m.</u> To: <u>12 a.m.</u>
Saturday From: <u>9 a.m.</u> To: <u>12 a.m.</u>	Saturday From: <u>12 p.m.</u> To: <u>12 a.m.</u>
Sunday From: <u>9 a.m.</u> To: <u>12 a.m.</u>	Sunday From: <u>12 p.m.</u> To: <u>12 a.m.</u>

2. Type of ABC license applied for (check all applicable boxes):

☒ On-Premises ☐ Off-Premises (second application required)

DEPARTMENT OF CITY PLANNING

810 Union Street, Room 508

Norfolk, Virginia 23510

Telephone (757) 664-4752 Fax (757) 441-1569

(Revised July 2019)

Exhibit A – Page 2

Banquet Hall with Live Entertainment/Sale of Alcoholic Beverages, On-Premises

3. Type of alcoholic beverage applied for:

☒ Beer ☒ Wine ☒ Mixed

4. Will video games, pool tables, game boards or other types of games be provided?

☐ Yes (If more than 4, additional application required) ☒ No

4a. If yes, please describe type and number of each game to be provided:

5. Will patrons ever be charged to enter the establishment?

☐ Yes ☒ No

5a. If yes, why:

5b. Which days of the week will there be a cover charge (circle all applicable days):

[Monday] [Tuesday] [Wednesday] [Thursday] [Friday] [Saturday] [Sunday]

6. Will the facility or a portion of the facility be available for private parties?

☒ Yes ☐ No

6a. If yes, explain:

Weddings. Receptions, Retirement Party

7. Will a third party (promoter) be permitted to lease, let or use the establishment?

☐ Yes ☒ No

7a. If yes, explain:

8. Will there ever be a minimum age limit?

☐ Yes ☒ No

Exhibit A – Page 3

Banquet Hall with Live Entertainment/Sale of Alcoholic Beverages, On-Premises

9. Please provide relevant experience of all managers:

Manager Name: Dedrick LearyName and Address of Establishment: The Gourmet Breakfast Place, 838 Old George Washington Hwy,Date of Employment: 2011 - 2013 Chesapeake, Virginia 23323Manager Name: Ngan NguyenName and Address of Establishment: Sycuan Casino, 5469 Casino Way, El Cajon, CA 92019Date of Employment: 2006 -2016Manager Name: Charbel BoulosName and Address of Establishment: Bay Food Mart , 2707 Granby st. Norfolk VA 23517Date of Employment: 1995- 2021Manager Name: Joyce LearyName and Address of Establishment: Dragon Cellular 6045 high st W. Portsmouth VA 23703Date of Employment: 2004- 2018Manager Name: Shameka LearyName and Address of Establishment: Polar Wireless 1216 Little Creek rd. Norfolk VA 23518Date of Employment: 2006- 2018

10. Additional comments/description/operational characteristics:

The applicant's proposed members and managing member owned and operated similar facilitiesand have worked in this industry. All possess the necessary experience to manage in this capacity.

Note: If smoking is permitted, then floor plans must be submitted showing all necessary building code requirements for such facility



Signature of Applicant

DEPARTMENT OF CITY PLANNING

810 Union Street, Room 508

Norfolk, Virginia 23510

Telephone (757) 664-4752 Fax (757) 441-1569

(Revised July 2018)

Attachment: Application (Up Center, LLC)

Exhibit A – Floor Plan(s) Worksheet**Banquet Hall with Live Entertainment/Sale of Alcoholic Beverages, On-Premises**

- Complete this worksheet based for each floor plan submitted with application.
- Floor plan(s) must be prepared by a registered design professional and include:
 - Tables/seats
 - Restroom facilities
 - Bar
 - Ingress and egress
 - Standing room
 - Disc Jockey/Band/Entertainment area)
 - Outdoor seating
 - Total maximum capacity (including employees)

1. Total capacity**a. Indoor**Number of seats (not including bar seats) 500Number of bar seats 120Standing room **b. Outdoor**Number of seats 0**c. Number of employees**40**Total Occupancy****(Indoor/Outdoor seats, standing room and employees) = 660****2. Entertainment**

List ANY type of entertainment proposed (such as 3-member live band, karaoke, comedian, or poetry reading.)

Comedian, 5 Member Live Band, Dj**3. Will a dance floor be provided?**☒ Yes ☐ No**3a. If yes,**Square footage of establishment 22,000Square footage of dance floor 400

- If a disc jockey is proposed, a dance floor must be provided.
- If the dance floor is more than 10% of the square footage of the establishment, a Dance Hall permit is required.

DEPARTMENT OF CITY PLANNING

810 Union Street, Room 508

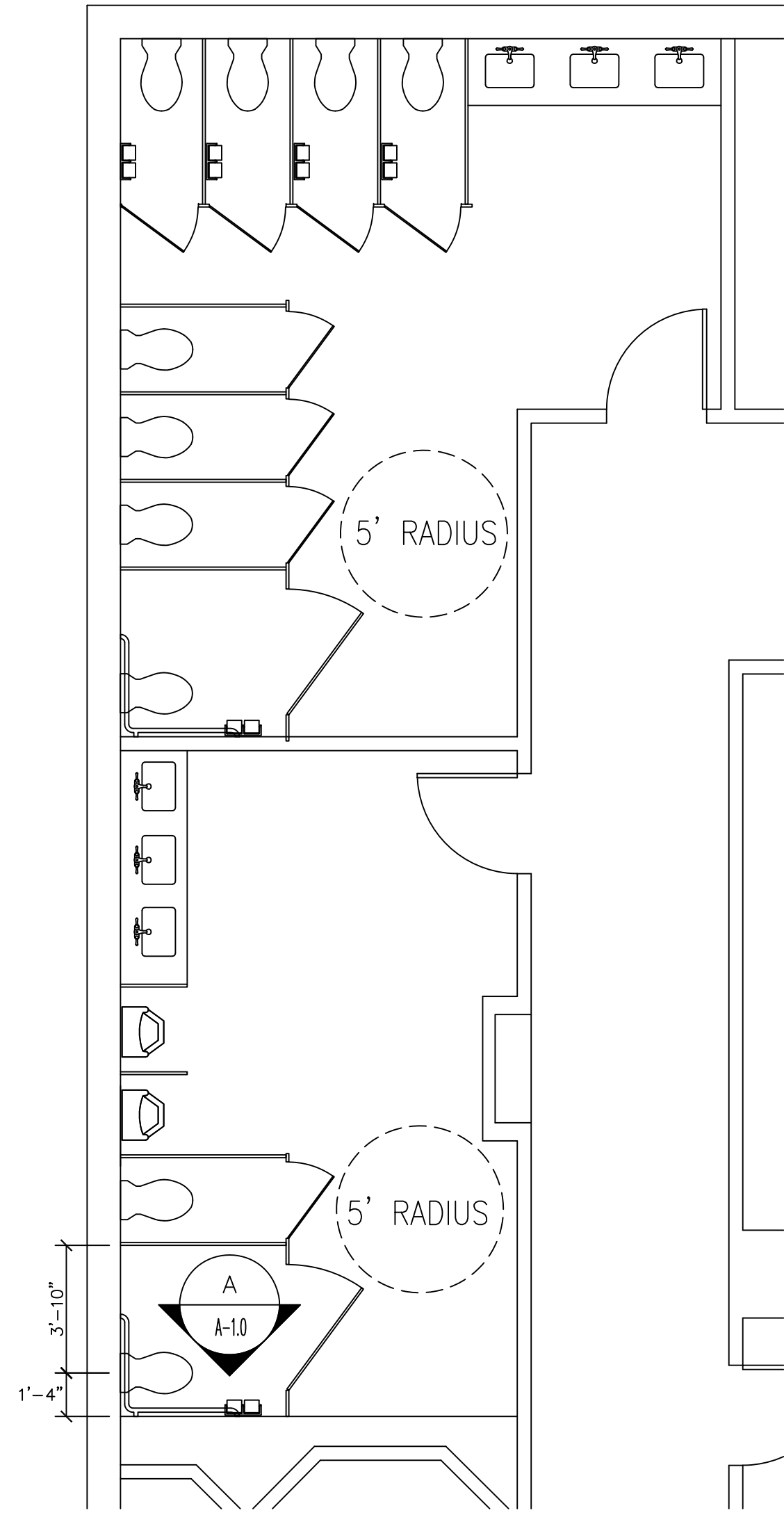
Norfolk, Virginia 23510

Telephone (757) 664-4752 Fax (757) 441-1569

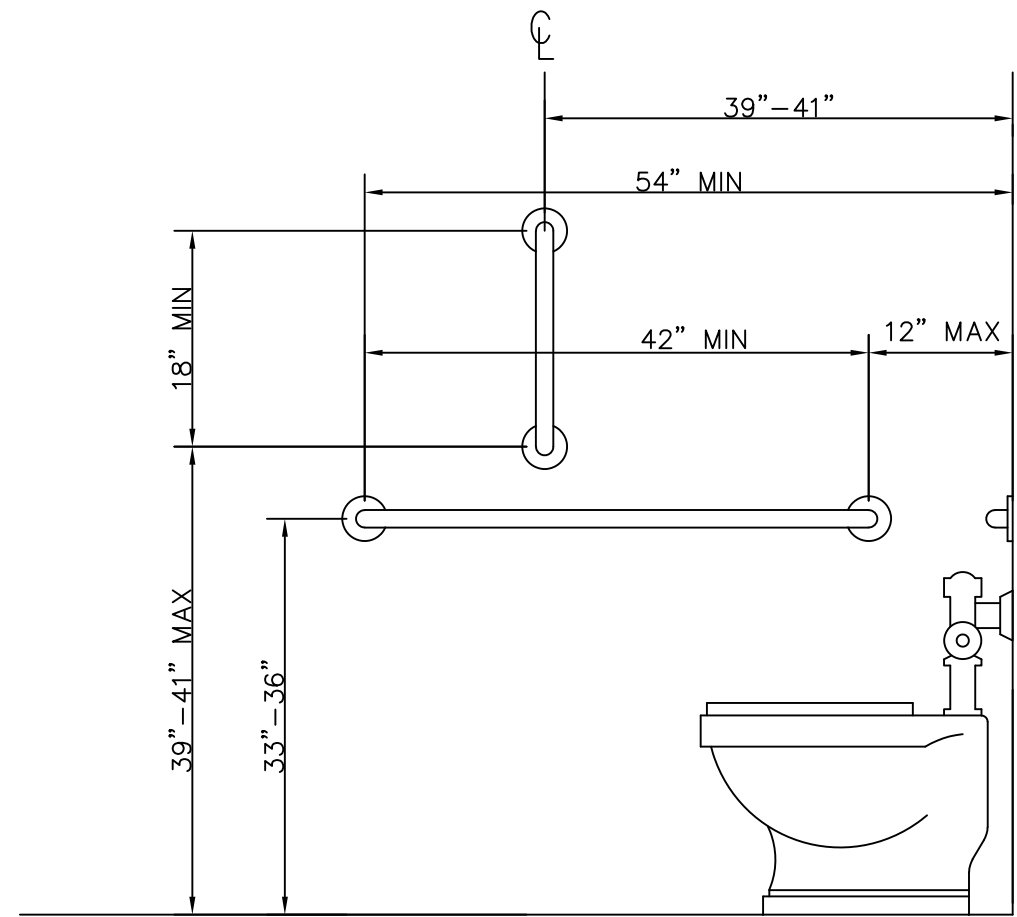
(Revised July 2010)

ANDER.TAYLOR@YAHOO.COM

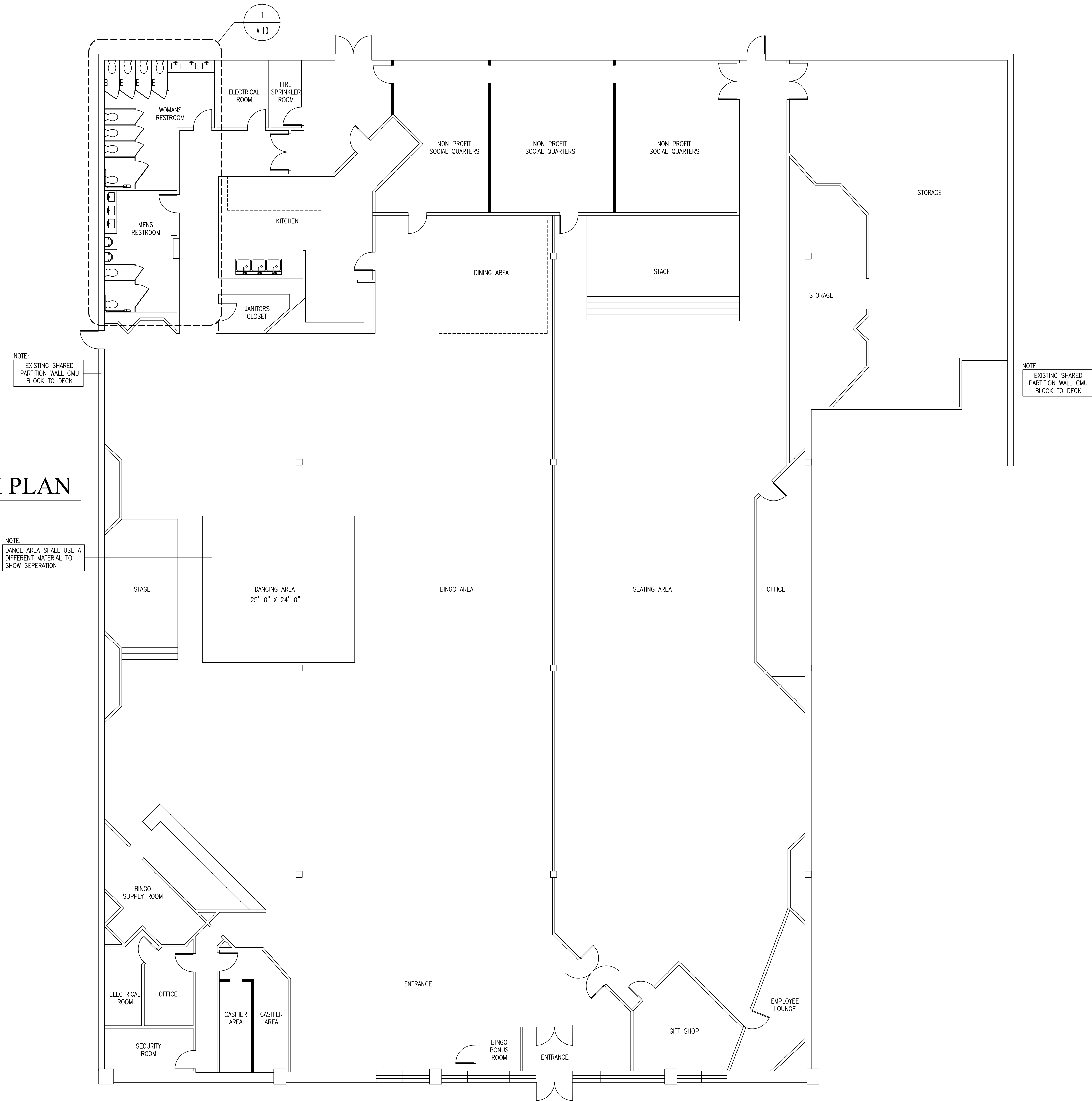
A circular professional seal for Louis W. Johnson, Jr., an architect in the Commonwealth of Virginia. The seal features a scalloped outer border. Inside the border, the words "COMMONWEALTH OF VIRGINIA" are written in a semi-circle at the top, and "ARCHITECT" is written at the bottom. In the center, the name "Louis W. Johnson, Jr." and the number "No. 009400" are printed. A horizontal line with a small 'v' mark in the center is drawn across the middle of the seal, passing over the text.



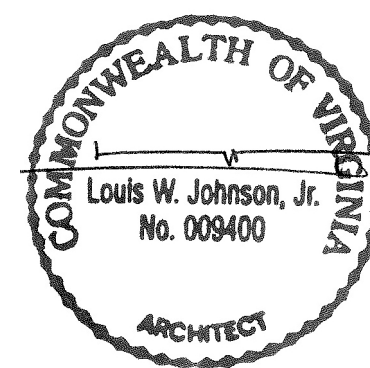
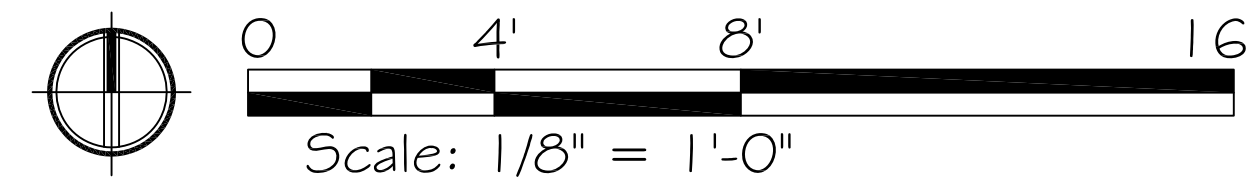
1
A-10
ENLARGED BATHROOM PLAN
SCALE: 1/4" = 1'-0"



A
A-10
BATHROOM DETAIL
SCALE: 3/4" = 1'-0"



FLOOR PLAN OVERALL
SCALE: 1/8" = 1'-0"



GENERAL NOTES

- ALL ITEMS INDICATED TO BE REMOVED SHALL BE DISPOSED OF OFF SITE BY THE CONTRACTOR UNLESS OTHERWISE NOTED.
- ALL WOOD BLOCKING AND MISCELLANEOUS STEEL SHOWN IN DETAILS AND SECTIONS SHALL BE CONTINUOUS UNLESS SPECIFICALLY NOTED OTHERWISE.
- THE CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS PRIOR TO PROCEEDING WITH THE WORK. DIMENSIONS FOR EXISTING WORK ARE INDICATED AS "E". ALL DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONTRACTING OFFICER IN WRITING.
- DIMENSIONS INDICATED FOR NEW WORK ARE TO FACE OF STUD, FACE OF MASONRY OR FACE OF EXISTING SURFACES UNLESS OTHERWISE NOTED.

LEGEND

(A) DOOR TAG
(A/2) WALL TAG
(A) NEW WORK NOTE
— EXISTING
■ NEW WORK

DOOR TYPE
SCALE: 1/4" = 1'-0"

DESCRIPTION	
(A)	3'-0" x 7'-0" METAL DOORS W/ GLAZING LEVER STYLE DOOR HARDWARE INCLUDED

PARTITION TYPE
SCALE: 1/4" = 1'-0"

DESCRIPTION	
(A)	3 1/2" STEEL STUDS @ 16" O.C. W/ 1/2" TYPE "X" GYP. BD BOTH SIDES.

NOTE: ALL NEW PARTITIONS ARE TO EXTEND 6" ABOVE THE CEILING UNLESS OTHERWISE NOTED.

FLOOR PLAN OVERALL AND ENLARGED
BATHROOM DETAIL

ANDER TAYLOR
ARCHITECTURAL DESIGNER
Norfolk, Virginia 23501

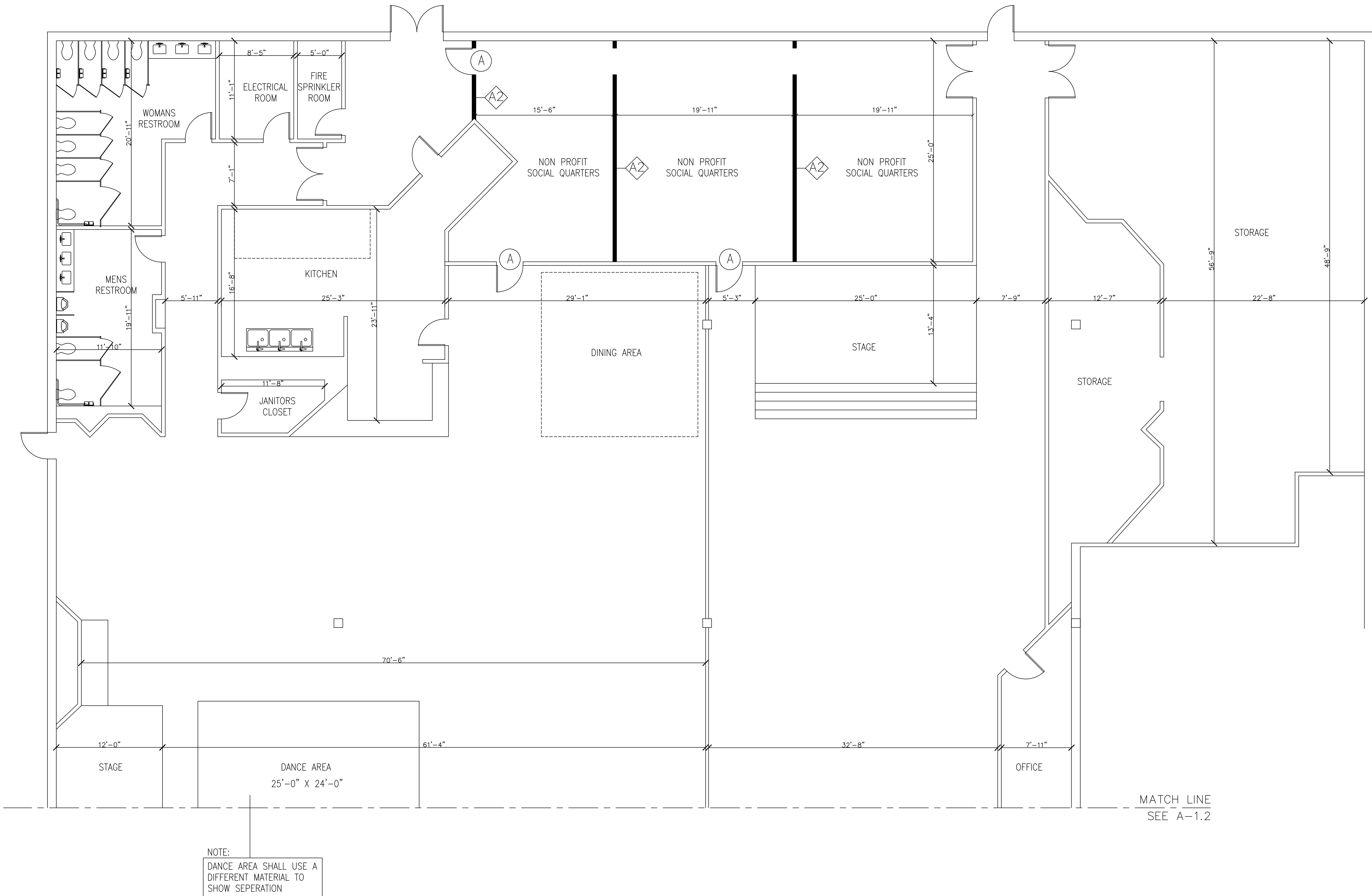
5957 EAST VIRGINIA BEACH BLVD SUITE 15, NORFOLK, VA 23502

SHEET
A-1.0

Drawn By: [Checked By: JEW]
AKT C1.757.709.9100

BINGO HALL RENOVATION

BINGO HALL



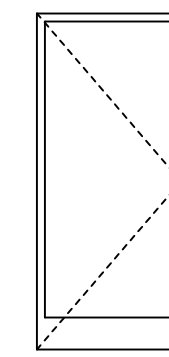
FLOOR PLAN PART A
SCALE: 3/16" = 1'-0"

GENERAL NOTES

1. ALL ITEMS INDICATED TO BE REMOVED SHALL BE DISPOSED OF OFF SITE BY THE CONTRACTOR UNLESS OTHERWISE NOTED.
2. ALL WOOD BLOCCING AND MISCELLANEOUS STEEL SHOWN IN DETAILS AND SECTIONS SHALL BE CONTINUOUS UNLESS SPECIFICALLY NOTED OTHERWISE.
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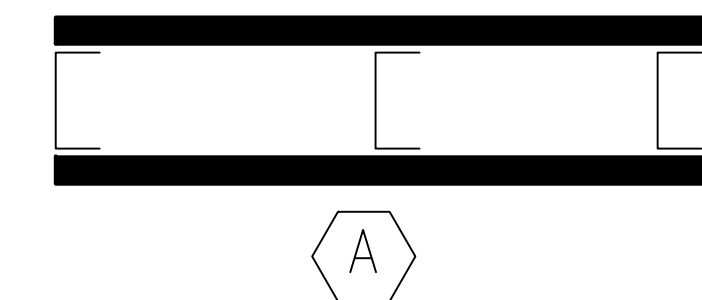
LEGEND

- (A) DOOR TAG
- A2 WALL TAG
- (A) NEW WORK NOTE
- EXISTING
- NEW WORK



DOOR TYPE
SCALE: 1/4" = 1'-0"

DESCRIPTION
(A) 3'-0" x 7'-0" METAL DOORS W/ GLAZING LEVER STYLE DOOR HARDWARE INCLUDED

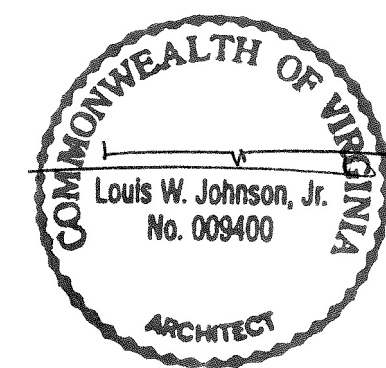
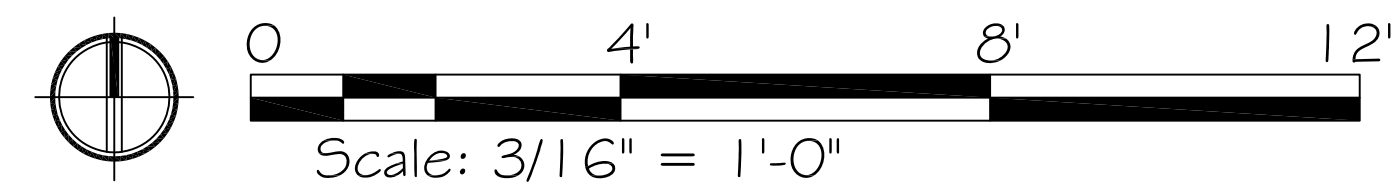
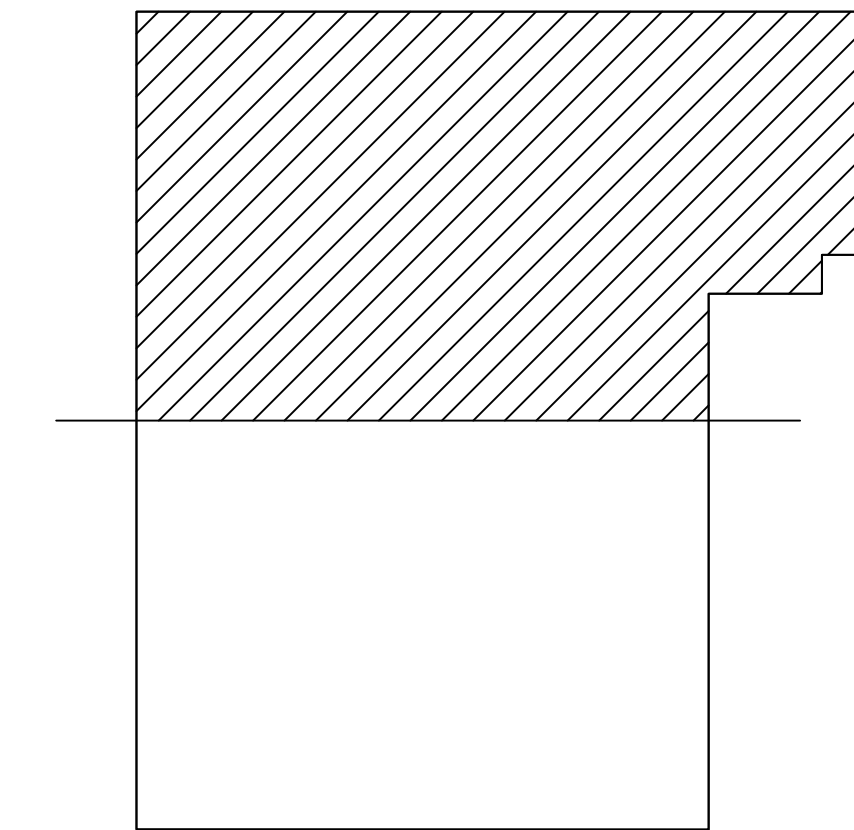


PARTITION TYPE
SCALE: 1/4" = 1'-0"

DESCRIPTION
(A) 3 3/8" STEEL STUDS @ 16" O.C. W/ 5/8" TYPE "X" GYP. BD BOTH SIDES.

NOTE: ALL NEW PARTITIONS ARE TO EXTEND 6" ABOVE THE CEILING UNLESS OTHERWISE NOTED.

KEY PLAN



5957 EAST VIRGINIA BEACH BLVD SUITE 15, NORFOLK, VA 23502
BINGO HALL RENOVATION
BINGO HALL
ANDER TAYLOR
ARCHITECTURAL DESIGNER
Norfolk, Virginia 23501
FLOOR PLAN PART A
Drawn By: AKT
Checked By: LEW
C1.757.709.9100
SHEET
A-1.1

GENERAL NOTES

1. ALL ITEMS INDICATED TO BE REMOVED SHALL BE DISPOSED OF OFF SITE BY THE CONTRACTOR UNLESS OTHERWISE NOTED.
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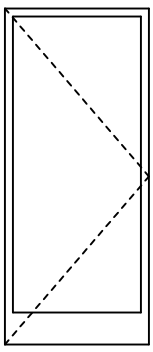
LEGEND

- A

DOOR TAG
- A2

WALL TAG
- A

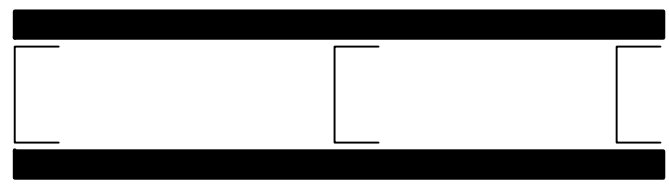
NEW WORK NOTE
- EXISTING
- NEW WORK



DOOR TYPE

SCALE: 1/4" = 1'-0"

DESCRIPTION	
<div>A</div>	3'-0" x 7'-0" METAL DOORS W/ GLAZING LEVER STYLE DOOR HARDWARE INCLUDED



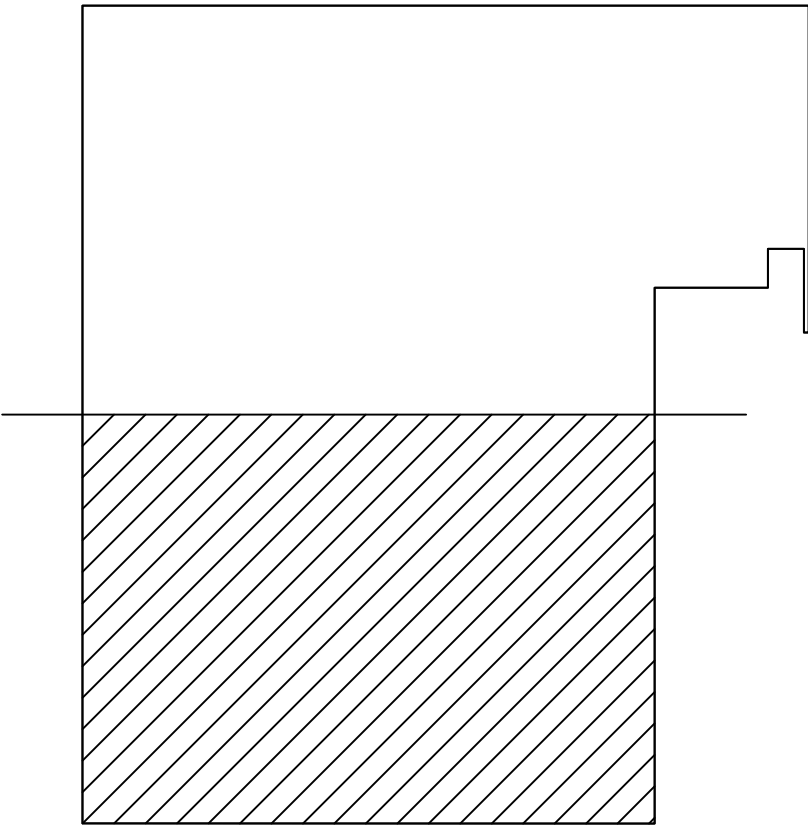
A PARTITION TYPE

A2 SCALE: 1/4" = 1'-0"

DESCRIPTION	
<div>A</div>	3 3/8" STEEL STUDS @ 16" O.C. W/ 3/8" TYPE "X" GYP. BD BOTH SIDES.

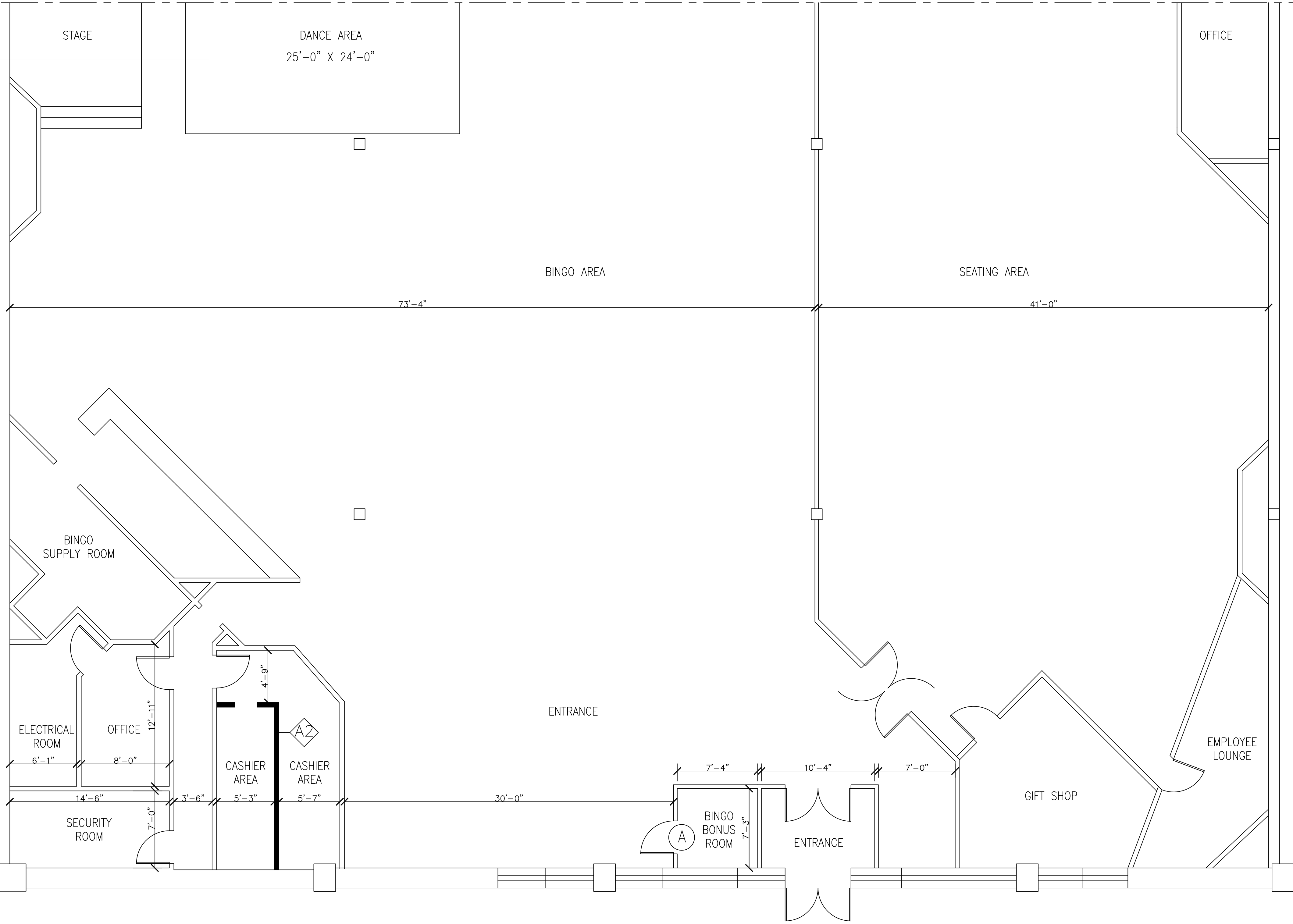
NOTE: ALL NEW PARTITIONS ARE TO EXTEND 6" ABOVE THE CEILING UNLESS OTHERWISE NOTED.

KEY PLAN



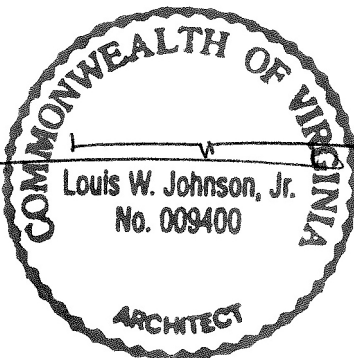
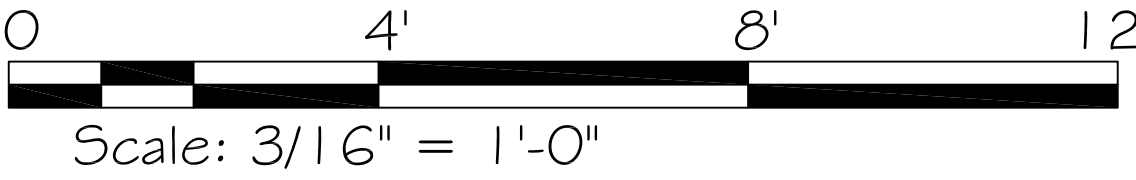
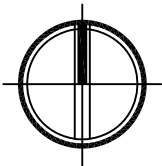
MATCH LINE
SEE A-1.1

NOTE:
DANCE AREA SHALL USE A DIFFERENT MATERIAL TO SHOW SEPERATION



FLOOR PLAN PART B

SCALE: 3/16" = 1'-0"



FLOOR PLAN PART B

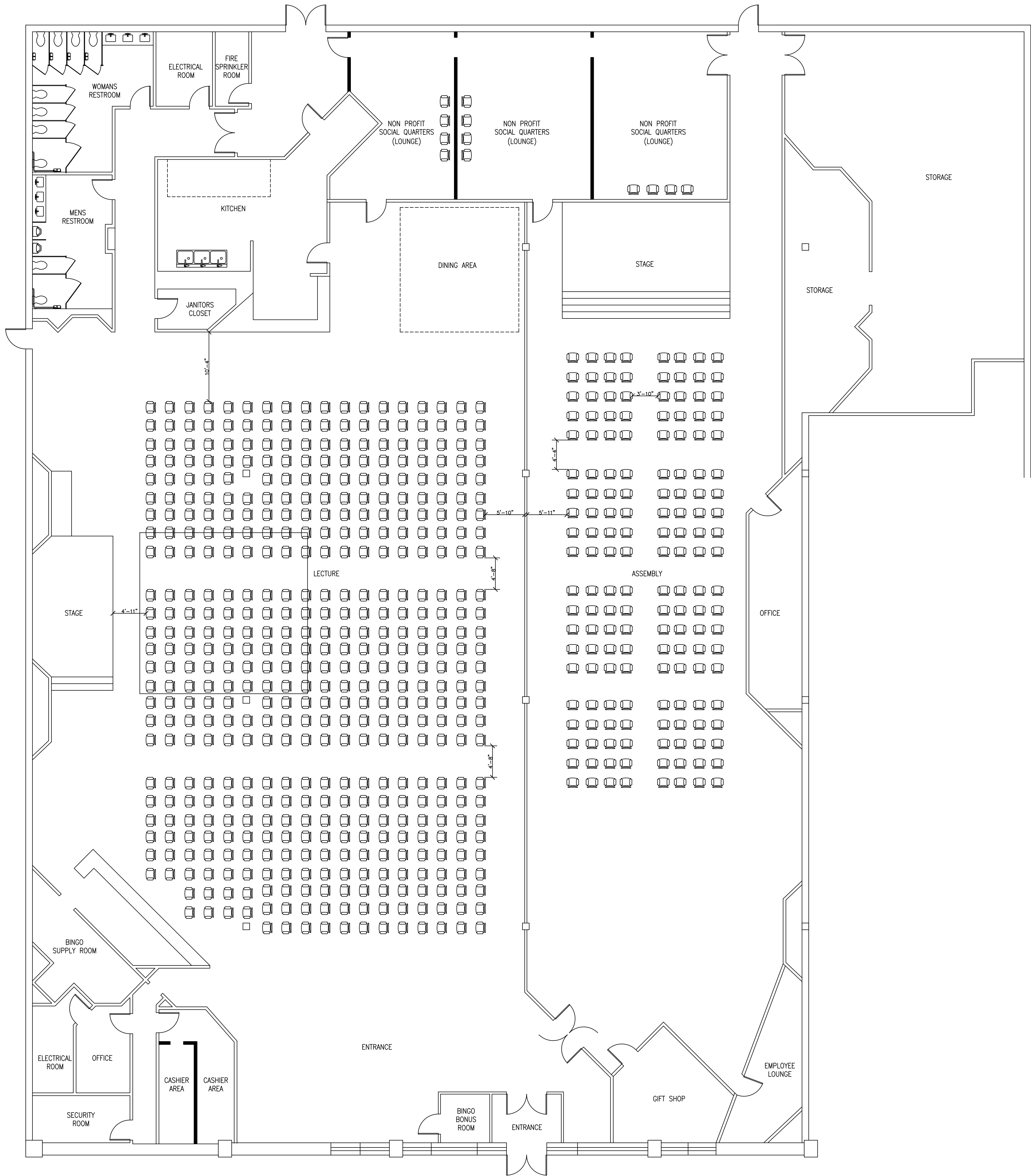
ANDER TAYLOR
ARCHITECTURAL DESIGNER
Norfolk, Virginia 23501

5957 EAST VIRGINIA BEACH BLVD SUITE 15, NORFOLK, VA 23502

BINGO HALL RENOVATION

BINGO HALL

SHEET
A-1.2



FURNITURE PLAN LECTURE HALL
SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. ALL ITEMS INDICATED TO BE REMOVED SHALL BE DISPOSED OF OFF SITE BY THE CONTRACTOR UNLESS OTHERWISE NOTED.
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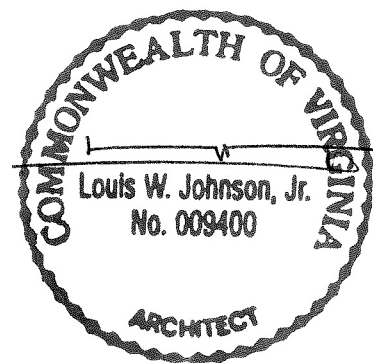
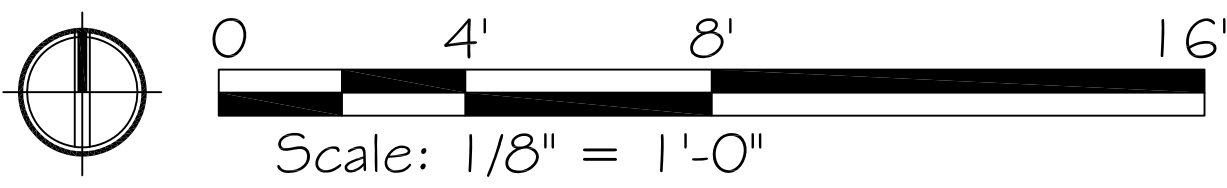
LEGEND

- CHAIR SYMBOL
- TABLE SYMBOL

OCCUPANCY LOAD

STAGE = 1,397 sf / 80 persons
DINING = 328 sf / 21 persons
LECTURE = 6,328 sf / 500 persons
STORAGE = 3,607 sf / 12 persons
OFFICE = 988 sf / 9 persons
SHOP = 219 sf / 4 persons
LOUNGE = 177 sf / 11 persons
KITCHEN = 607 sq / 3 persons
ASSEMBLY = 3,898 sq / 160 persons
TOTAL 800 persons

NOTE: ALL DATA REFERENCED FROM COVER SHEET



FURNITURE PLAN LECTURE HALL

ANDER TAYLOR
ARCHITECTURAL DESIGNER
Norfolk, Virginia 23501

5957 EAST VIRGINIA BEACH BLVD SUITE 15, NORFOLK, VA 23502

SHEET
F-1.1

Drawn By
AKT

Checked By
EW

C1.757.709.9100

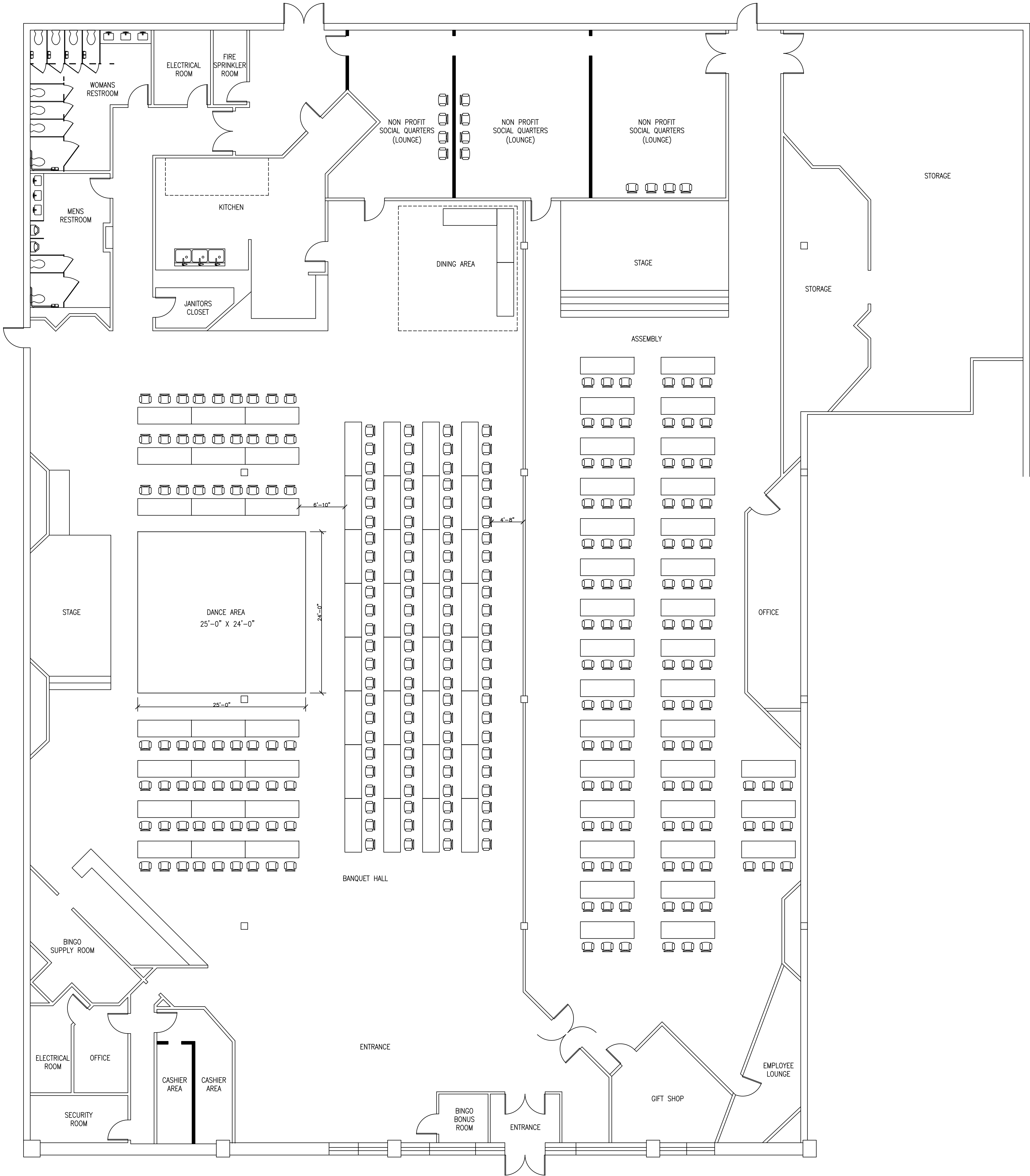
JOB NO
-

DATE
4.20.2021

SCALE
-

BINGO HALL RENOVATION

BINGO HALL



FURNITURE PLAN BANQUET HALL

SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. ALL ITEMS INDICATED TO BE REMOVED SHALL BE DISPOSED OF OFF SITE BY THE CONTRACTOR UNLESS OTHERWISE NOTED.
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LEGEND

- CHAIR SYMBOL
- TABLE SYMBOL

OCCUPANCY LOAD

STAGE/DANCE = 1,397 sf / 80 persons
DINING = 328 sf / 21 persons
BANQUET = 8,328 sf / 500 persons
STORAGE = 3,607 sf / 12 persons
OFFICE = 988 sf / 9 persons
SHOP = 219 sf / 4 persons
LOUNGE = 177 sf / 11 persons
KITCHEN = 607 sq / 3 persons
ASSEMBLY = 3,898 sq / 160 persons
TOTAL 800 persons

NOTE: ALL DATA REFERENCED FROM COVER SHEET

FURNITURE PLAN BANQUET HALL

ANDER TAYLOR
ARCHITECTURAL DESIGNER
Norfolk, Virginia 23501

5957 EAST VIRGINIA BEACH BLVD SUITE 15, NORFOLK, VA 23502

BINGO HALL RENOVATION

BINGO HALL

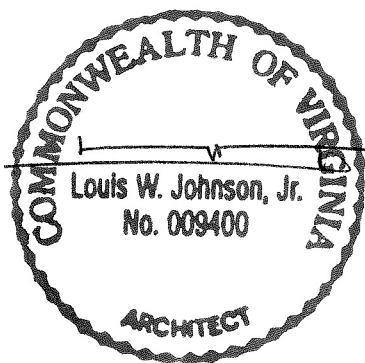
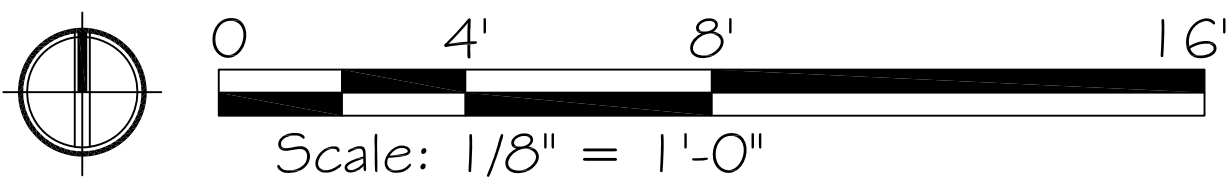
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F-1.2

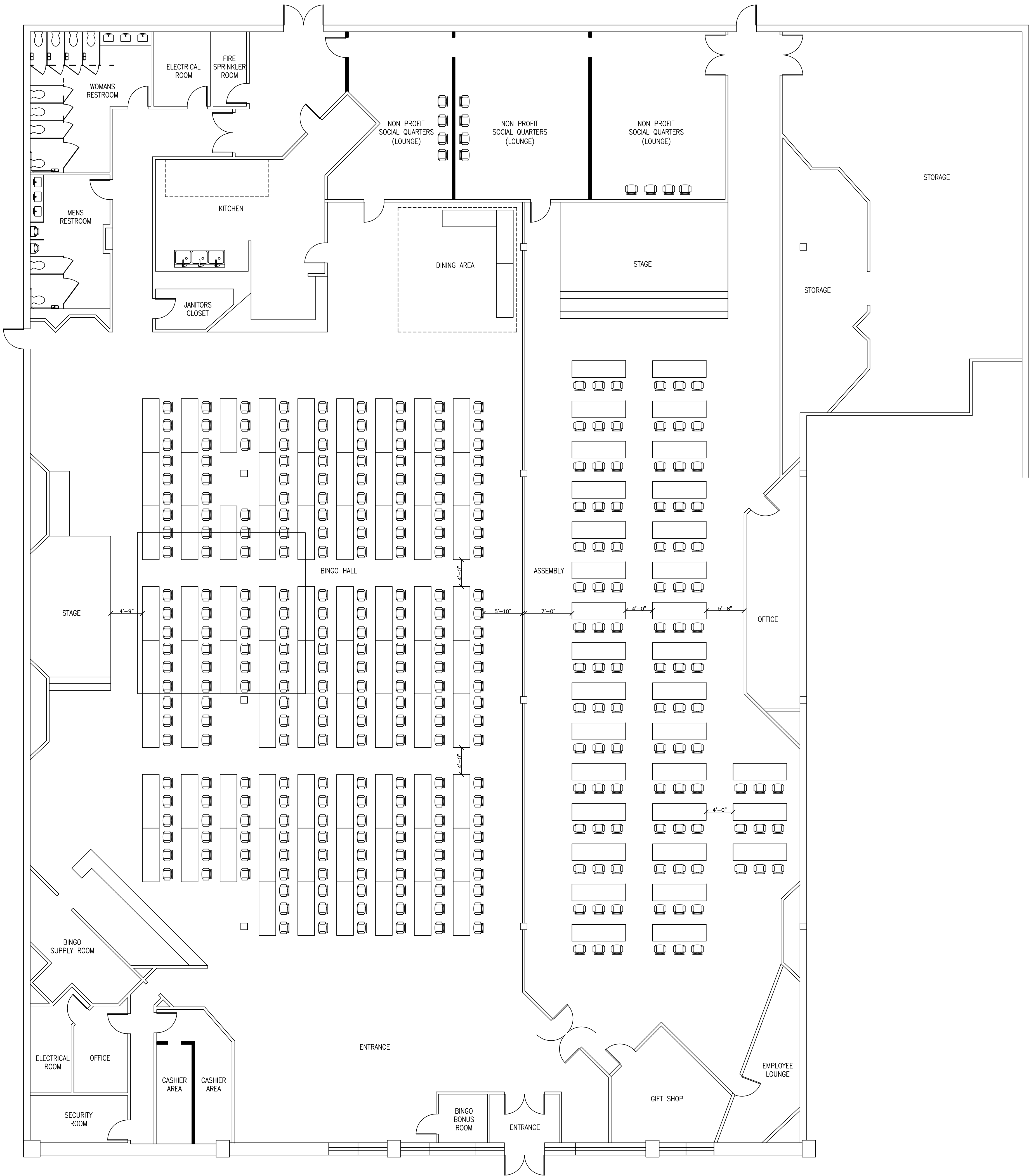
Drawn By
AKT

Checked By
JEW

C1.757.709.9100

JOB NO.	DATE	SCALE
-	4.20.2021	-





FURNITURE PLAN BINGO HALL
SCALE: 1/8" = 1'-0"

GENERAL NOTES

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LEGEND

- CHAIR SYMBOL
- TABLE SYMBOL

OCCUPANCY LOAD

STAGE = 1,397 sf / 80 persons
DINING = 328 sf / 21 persons
GAMING(BINGO) = 6,328 sf / 500 persons
STORAGE = 3,607 sf / 12 persons
OFFICE = 988 sf / 9 persons
SHOP = 219 sf / 4 persons
LOUNGE = 177 sf / 11 persons
KITCHEN = 607 sq / 3 persons
ASSEMBLY = 3,898 sq / 150 persons
TOTAL = 800 persons

FURNITURE PLAN BINGO HALL

ANDER TAYLOR
ARCHITECTURAL DESIGNER
Norfolk, Virginia 23501

5957 EAST VIRGINIA BEACH BLVD SUITE 15, NORFOLK, VA 23502

SHEET
F-1.3

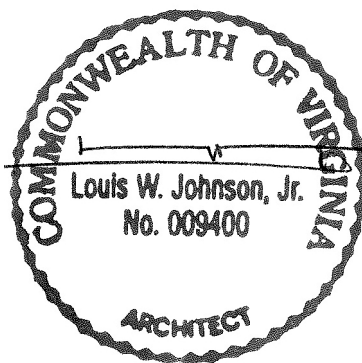
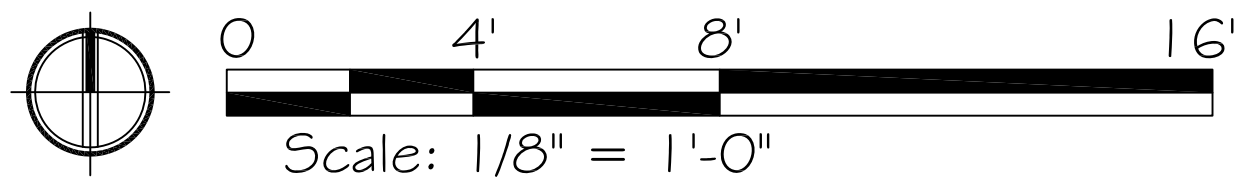
Drawn By: AKT
Checked By: LEW

C1.757.709.9100

JOB NO. DATE SCALE
- 4.20.2021 -

BINGO HALL RENOVATION

BINGO HALL

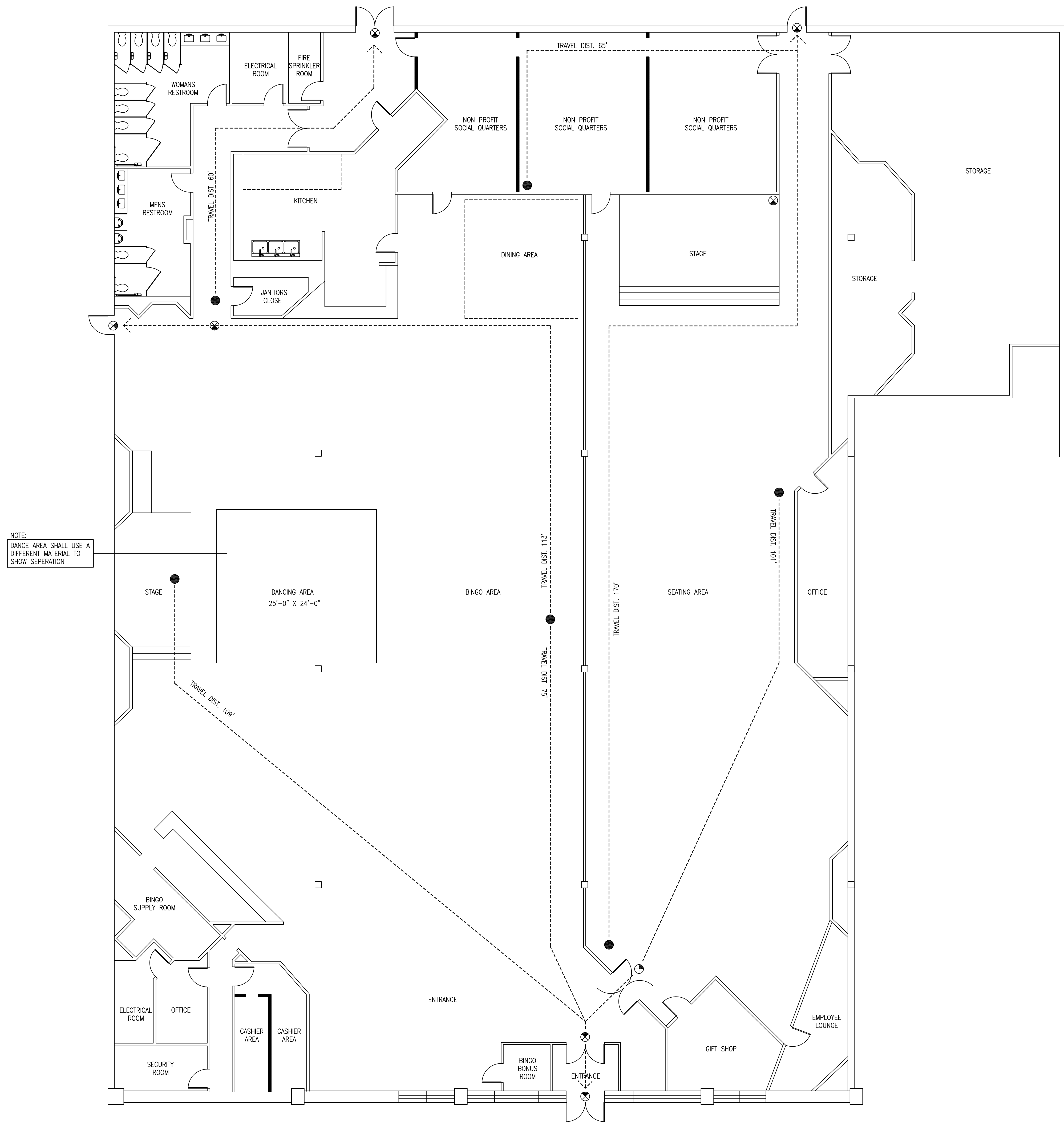


GENERAL NOTES

1. THE LONGEST EXIT ACCESS TRAVEL DISTANCE FROM THE REMOTE AREAS AREAS IN THE THE FACILITY IN 170 FT. WHICH IN UNDER THE DISTANCE OF 250 FT PER TABLE 1017.2

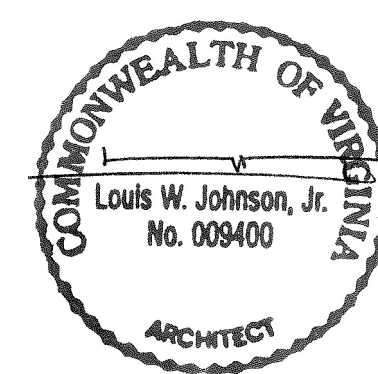
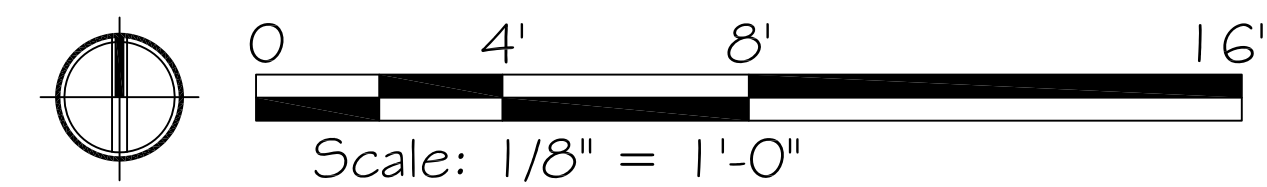
LEGEND

- YOU ARE HERE
- ⊙ EXIT SIGN
- PATH OF TRAVEL



LIFE SAFETY PLAN

SCALE: 1/8" = 1'-0"



5957 EAST VIRGINIA BEACH BLVD SUITE 15, NORFOLK, VA 23502

BINGO HALL
LS-1.0

ANDER TAYLOR
ARCHITECTURAL DESIGNER
Norfolk, Virginia 23523

LIFE SAFETY PLAN

Drawn By: AKT
Checked By: EW
C1.757.709.9100

JOB NO.	DATE	SCALE
-	5.14.2021	-

BINGO HALL RENOVATION

UP CENTER, LLC
Application for Conditional Use Permit
THE CITY OF NORFOLK
February 23, 2021

The Up Center, to be located at 5957 E. Virginia Beach Boulevard in Norfolk, was formed to support non-profit charitable organizations in their efforts to raise funds to support public causes. Charitable gaming, most predominantly bingo, has long been utilized for these purposes, and forms the basis of the applicant's business model. The Up Center will offer a comfortable, safe, and community-friendly facility for local non-profits to host bingo, affiliated games, and social events to support their charitable fundraising efforts.

If approved, the Up Center will also seek to offer food and beverage service, and to obtain **approval and permit** alcoholic beverages, to provide local non-profits with the best overall experience in which to host their non-profit fundraising efforts.

The Up Center recognizes its obligations to promote and maintain close and productive relationships with its neighbors in the Norfolk community, and to ensure the integrity of the charitable gaming industry for their benefit. The Up Center looks forward to engaging the many involved stakeholders in our community throughout this process, and to our future in supporting their efforts to serve their charitable causes.

Armor Bearer Security Protection, Inc.

66 Mercury blvd

Hampton, Virginia 23666

(757) 335 -1223



Attachment: Application (Up Center, LLC)

Bingo Hall

UP Center LLC



Armor Bearer Security Protection Inc. is headquartered in Hampton, Virginia and is a full service provider of physical security services. The firm's portfolio of services includes uniformed security, consulting, training.

We pride ourselves on our ability to customize our services to meet our client's needs which results in professionally delivering the highest quality protection in a safe, consistent and effective manner. As the owner I finally decided to make a change in the industries and bring back the integrity in which it is very much need. I decided to be the only owner to Armor Bearer Security Protection, Inc. I have lots of experience in retails, apartment complex, hotel, mobile patrol security and military experience. We provide a complete full range of professional protection services and a fully uniformed, equipped, and highly trained officer staff capable of securing our client's locations 24 hours a day, 7 days a week.

Insurance

Armor Bearer Security Protection, Inc will comply with all insurance coverage:

- Worker's Compensation - Statutory requirements and benefits. Coverage is compulsory for employers of three or more employees, to include the employer. Contractors who fail to notify the Commonwealth of increases in the number of employees that change their worker's compensation requirements under the Code of Virginia during the course of the contract shall be in noncompliance with the contract.
- Employers Liability - \$100,000.
- Commercial General Liability - \$2,000,000 per occurrence. Commercial General Liability is to include bodily injury and property damage, personal injury and advertising injury, products and operations coverage. The Commonwealth of Virginia must be named as an additional insured and so endorsed on the policy.

Bingo/ Banquet Hall

2 OFFICERS 7 days week
 1 Armed
 1 Unarmed

A.B.S.P. will provide daily activity reports

A.B.S.P. Will provide Security officers at 5957 E. Virginia Beach Blvd, Norfolk.

Armor Bearer Security officer will check every bag that comes on the property.

Armor Bearer Security officer will make foot patrol in the building and the parking lot.

Armor Bearer Security officers will make sure no one is loitering in front of the building.

Armor Bearer Security officers will ban people from the property for disorderly conduct.

Armor Bearer management will provide all incident reports within 24 hour.

Armor Bearer will provide security services at a rate of one security guard per 50 guest occupants on the property whenever occupancy shall exceed 99 people or when otherwise required by at least 36 hours prior written notice to the Fire Marshal, Chief of Police, or any designee of either. After 8:00 p.m. each Friday and Saturday as well as during special events, a security supervisor certified in accordance with the requirements of the Virginia Department of Criminal Justice Services shall be present on the property.

One guard (armed) will be at entrance door at all times. The second guard will walk around the premises.

Attachment: Application (Up Center, LLC)

**LAKE TAYLOR CIVIC LEAGUE
POST OFFICE BOX 12753
NORFOLK, VIRGINIA 23541**

November 22, 2021

Norfolk Planning Commission
City Hall Building
810 Union Street, Suite 508
Norfolk, VA 23510

RE: The Up Center

Members of the Norfolk Planning Commission:

Please accept this letter on behalf of the Lake Taylor Civic League, regarding the application for a conditional use permit submitted by the Up Center to be located at 5957 E. Virginia Beach Blvd in Norfolk.

Following a presentation on behalf of the Up Center and a tour by a group of our members, the application was voted on by our members and received unanimous support of this conditional use permit. We were advised that the business itself would not be selling alcoholic beverages, however, some individuals or entities who lease the facility may do so with proper permits. We commend the entrepreneurial and community minded spirit of this business and wish them success in their venture.

Thank you for your consideration and allowing our input on this issue.

Respectfully,



Lake Taylor Civic League, by
Steven A. Mirman, President

Attachment: Application (Up Center, LLC)

Economic Dev Auth Of The City Of Norfolk
999 Waterside Dr Ste 2430
Norfolk VA 23510-3332

Whlr-Janaf, Llc
2529 E Virginia Beach Blvd
Virginia Beach VA 23452-7650

Whlr-Janaf, Llc
2529 E Virginia Beach Blvd
Virginia Beach VA 23452-7650

Jm Island Properties Estates, Llc
1302 Dominion Lakes Blvd
Chesapeake VA 23320

5312 Virginia Beach Boulevard, Llc
1313 Bertrum Ct
Virginia Beach VA 23455-4962

Baylor Enterprises Llc
248 W Bute St Ste 200
Norfolk VA 23510-1441

Economic Dev Auth Of The City Of Norfolk
999 Waterside Dr Ste 2430
Norfolk VA 23510-3332

Economic Dev Auth Of The City Of Norfolk
999 Waterside Dr Ste 2430
Norfolk VA 23510-3332

Economic Dev Auth Of The City Of Noi
999 Waterside Dr Ste 2430
Norfolk VA 23510-3332

Whlr-Janaf, Llc
2529 E Virginia Beach Blvd
Virginia Beach VA 23452-7650

Capital Finance Inc
900 Granby St Unit 101
Norfolk VA 23510-2503

Realty Income Properties 21, Llc
6920 Pointe Inverness Ste 301
Fort Wayne IN 46803-7926

Elitar Investments, Llc
929 Glenrock Rd
Norfolk VA 23502-3703

Reda & Sons
889 Poplar Hall Dr
Norfolk VA 23502-3715

Whlr-Janaf, Llc
2529 E Virginia Beach Blvd
Virginia Beach VA 23452-7650

Price Club East, Inc
999 Lake Dr
Issaquah WA 98027-8990

Jmrs Properties, Llc
1001 Port Walthall Dr
Colonial Heights VA 23834-5919

Messer 839 Poplar Hall Drive, Llc
820 Moultrie Ct
Virginia Beach VA 23455

Hampton Mercury Investment Co
27750 Stanbury, Suite 200
Farmington Hills MI 48334

Military Crossing Associates Lc
550 Mamaroneck Ave Ste 411
Harrison NY 10528-1609

H Tran Llc
8494 Indian Paintbrush Way
Lorton VA 23502-3700

Billioni, Carl V & Phyllis C
1005 Cherry Ave
San Jose CA 95125-4348

Norfolk Mufflers, Inc.
5965 E Virginia Beach Blvd
Norfolk VA 23502-2401

Military Crossing Associates Lc
897 Poplar Hall Dr
Norfolk VA 23502

Gossett, Larry S
3469 N Military Hwy
Norfolk VA 23518-5615

Grand Caf Associates, Llc
4701 Columbus St Ste 300
Virginia Beach VA 23462-6725

Kh Hr Two Poplar Hall Llc
1128 Independence Blvd Ste 200
Virginia Beach VA 23455-5505

D & J Leasing Inc
5725 Arrowhead Dr
Virginia Beach VA 23462

Whlr-Janaf-Office, Llc
2529 E Virginia Beach Blvd
Virginia Beach VA 23452-7650

5312 Virginia Beach Boulevard, Llc
1313 Bertrum Ct
Virginia Beach VA 23455-4962

Attachment: Property Owners_300ft (Up Center, LLC)

Whlr-Janaf, Llc
2529 E Virginia Beach Blvd
Virginia Beach VA 23452-7650

Attachment: Property Owners_300ft (Up Center, LLC)

Williams, Sherri

From: Williams, Sherri
 Sent: Wednesday, December 15, 2021 12:55 PM
 To: Herbst, James; Riddick, Paul; Royster, Danica; Glenrock Neighborhood Assoc.; Lake Taylor
 Cc: Pollock, Susan
 Subject: New Planning Commission Items-5957 E. VA Beach BLVD
 Attachments: Application.pdf

Attached please find the following information tentatively scheduled to be heard at the January 27, 2022 Planning Commission public hearing:

UP CENTER, LLC for the following Conditional Use Permits at 5957 E. Virginia Beach Boulevard:

- a. Banquet Hall.
- b. Live Entertainment.
- c. Alcoholic Beverages, On Premises.

The purpose of these requests is to allow for the operation of a Banquet Hall with Live Entertainment, including a Disc jockey, and alcoholic beverages for on-premises consumption.

Staff contact: Susan Pollock at (757) 664-4765, susan.pollock@norfolk.gov

Thank You

Sherri Williams
 City Planner I – City Clerk



Planning Department
 810 Union Street | Suite 508
 Norfolk, VA 23510
 (757) 664-6771 office | (757) 618-5720 cell

Connect with us:

www.norfolk.gov



Attachment: Email to Civic Leagues (Up Center, LLC)

**LAKE TAYLOR CIVIC LEAGUE
POST OFFICE BOX 12753
NORFOLK, VIRGINIA 23541**

November 22, 2021

Norfolk Planning Commission
City Hall Building
810 Union Street, Suite 508
Norfolk, VA 23510

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Respectfully,



Lake Taylor Civic League, by
Steven A. Mirman, President

Attachment: Letter of support from Civic League (Up Center, LLC)